

KC

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PROGRESS SET  
7.28.2022

Sheet Revisions:



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KYLE CHAN ARCHITECT, INC.

ELECTRONIC PLAN REVIEW

ZHANG RESIDENCE  
NEW RESIDENCE  
905 LEONELLO AVE  
LOS ALTOS, CA 94024

PROGRESS SET  
NOT FOR CONSTRUCTION

## STREETSCAPE DIAGRAM

Y STAMP:

## A0.2

PROJECT NUMBER: 2112  
905 LEONELLO AVE

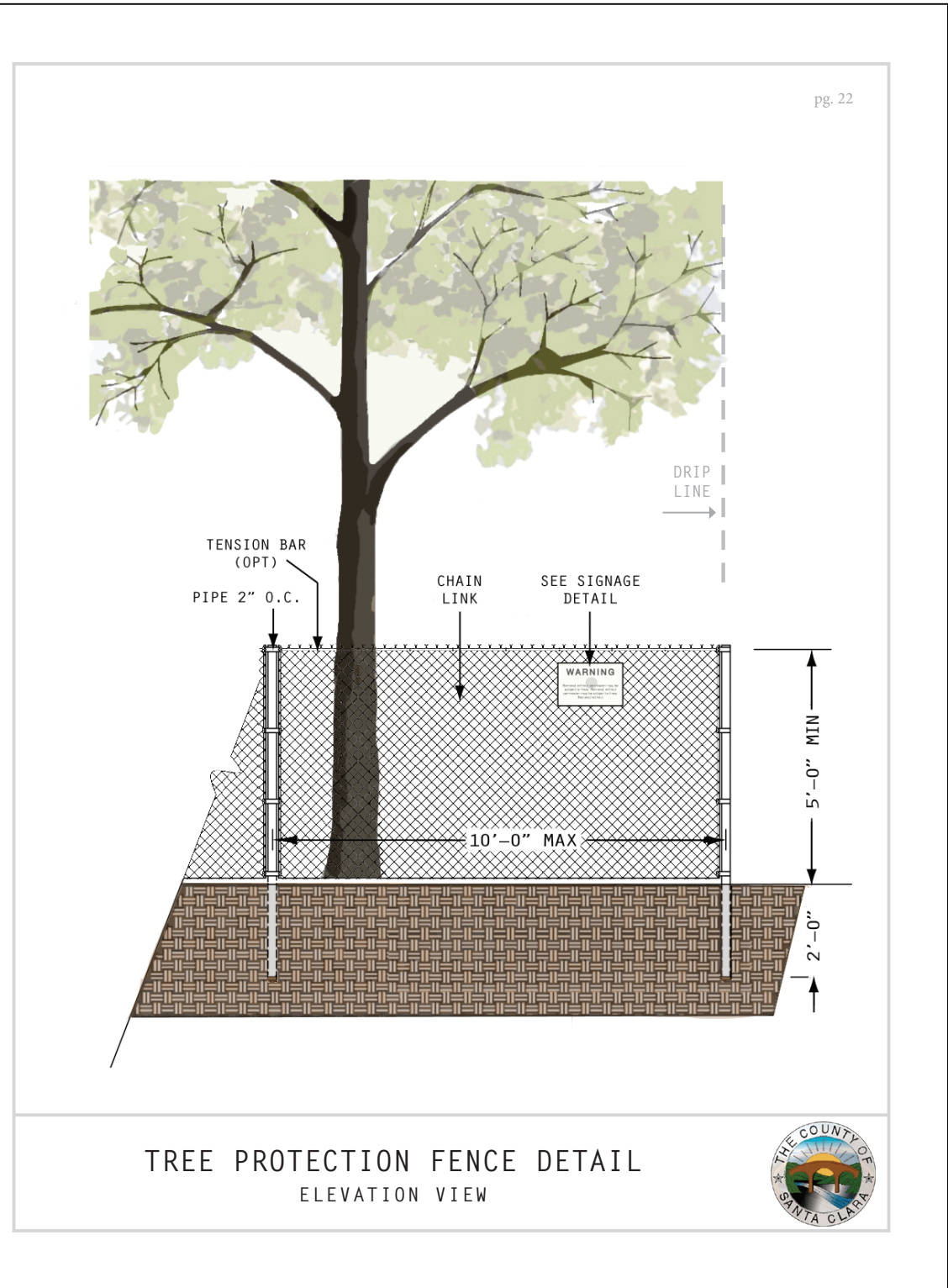
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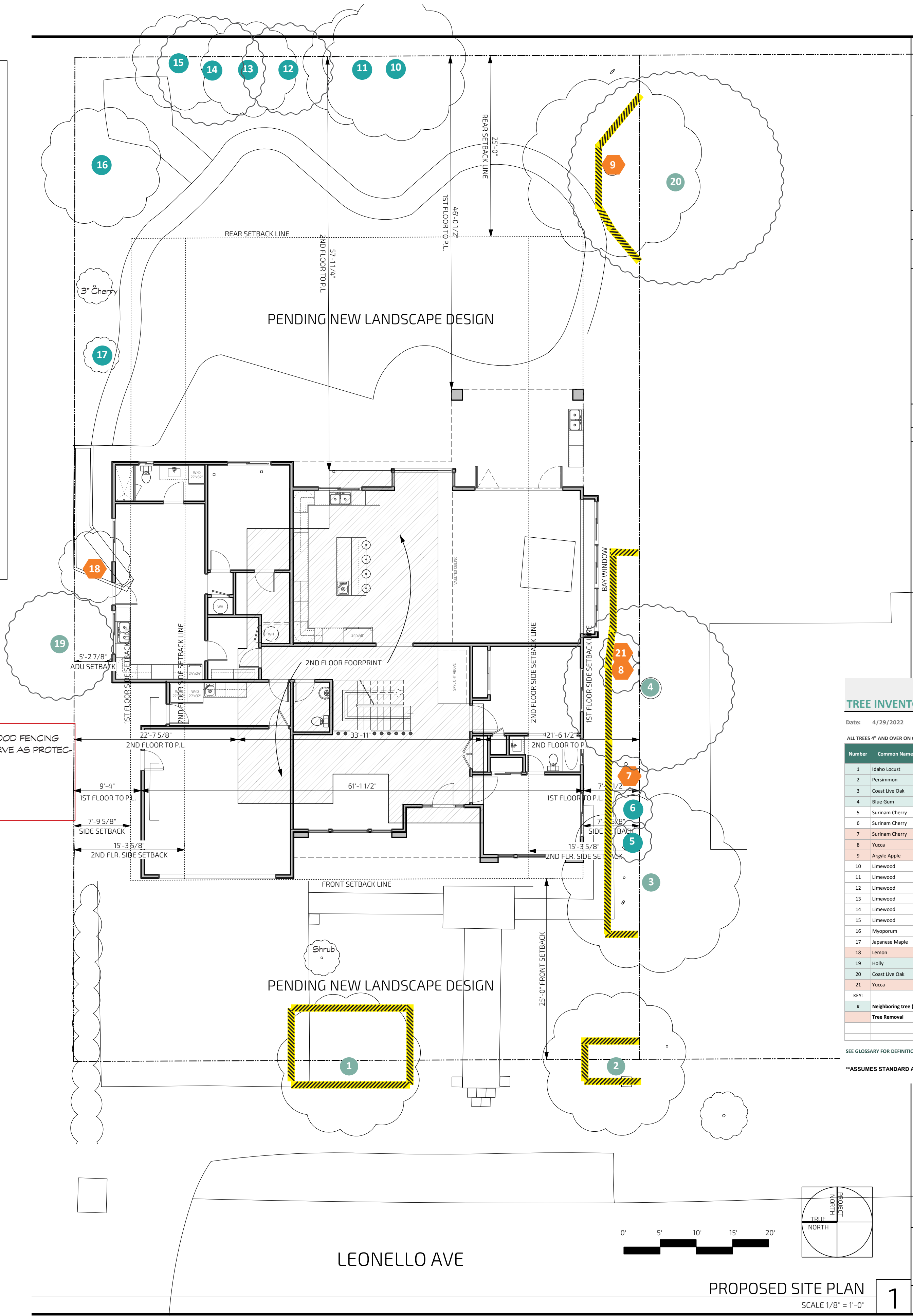
<p>PROGRESS SET NOT FOR CONSTRUCTION</p>	<p>ZHANG RESIDENCE NEW RESIDENCE 905 LEONELLO AVE LOS ALTOS, CA 94024</p>
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04/27/2022 12:04:44 PM 0.4 VVX



TPZ NOTE: EXISTING 6' WOOD FENCING AT PROPERTY LINE TO SERVE AS PROTECTION FOR TREE #19.



TPZ MAP LEGEND:

- TREE TO REMOVE
- TREE TO REMAIN
- TREE ON NEIGHBORS PROPERTY / PUBLIC RIGHT-OF-WAY
- TREE PROTECTION FENCING (SEE REPORT FOR SPEC.)
- TRUNK WRAP (SEE ATTACHED SPEC. IF APPLICABLE)

NOTE: TREES #19 & #20 WERE PLACED BY PROJECT ARBORIST AND LOCATIONS ARE APPROXIMATE.

TREE INVENTORY - 905 Leonello Ave, Los Altos 94025															
Date: 4/29/2022															
ALL TREES 4" AND OVER ON OR OVERHANGING THE PROPERTY															
Number	Common Name	Botanical Name	DBH (inches)	math. DBH (inches)	Height (feet)	Spread (feet)	Status	TREE IMPACT ASSESSMENT							Prescription
								Condition	Age	Species Tolerance	TPZ mult. Factor	Ideal TPZ Radius (ft)	Impact Level**	Suitability Rating	
1	Idaho Locust	Robinia idahoensis	11	11	30	15	PROTECTED	FAIR	MATURE	MODERATE	12	11	MODERATE**	MODERATE	PRESERVE
2	Perisperm	Diopatra kuhl	8	8	25	12	PROTECTED	FAIR	MATURE	HIGH	8	5	LOW	MODERATE	PRESERVE
3	Coast Live Oak	Quercus agrifolia	est. 40	40	50	30	PROTECTED	FAIR	MATURE	HIGH	8	27	MODERATE	MODERATE	PRESERVE
4	Blue Gum	Eucalyptus globulus	est. 25	25	55	20	PROTECTED	FAIR	MATURE	MODERATE	12	25	MODERATE	MODERATE	PRESERVE
5	Surinam Cherry	Eugenia uniflora	6	6	15	5	(not protected)	FAIR	OVERMATURE	MODERATE	15	8	MODERATE	MODERATE	PRESERVE
6	Surinam Cherry	Eugenia uniflora	6	6	15	5	(not protected)	FAIR	OVERMATURE	MODERATE	15	8	MODERATE	MODERATE	PRESERVE
7	Surinam Cherry	Eugenia uniflora	7	7	15	5	(not protected)	VERY POOR	OVERMATURE	MODERATE	15	9	MODERATE	LOW	REMOVE (X)
8	Yucca	Yucca spp.	10	10	10	5	(not protected)	FAIR	MATURE	MODERATE	12	10	SEVERE	MODERATE	REMOVE (X)
9	Angelo Apple	Eucalyptus cinerea	32	32	55	20	PROTECTED	VERY POOR	MATURE	MODERATE	12	32	MODERATE	LOW	REMOVE (X)
10	Limewood	Photoporum exonioides	8, 7.5, 7	13	30	20	(not protected)	FAIR	OVERMATURE	MODERATE	15	16	MODERATE	MODERATE	PRESERVE
11	Limewood	Photoporum exonioides	8, 5.5	10	30	15	(not protected)	FAIR	OVERMATURE	MODERATE	15	13	MODERATE	MODERATE	PRESERVE
12	Limewood	Photoporum exonioides	8	8	30	10	(not protected)	FAIR	OVERMATURE	MODERATE	15	10	MODERATE	MODERATE	PRESERVE
13	Limewood	Photoporum exonioides	8, 7	11	30	15	(not protected)	FAIR	OVERMATURE	MODERATE	15	14	MODERATE	MODERATE	PRESERVE
14	Limewood	Photoporum exonioides	14	14	30	15	(not protected)	FAIR	OVERMATURE	MODERATE	15	18	MODERATE	MODERATE	PRESERVE
15	Limewood	Photoporum exonioides	13	13	25	20	(not protected)	FAIR	OVERMATURE	MODERATE	15	16	MODERATE	MODERATE	PRESERVE
16	Myoporum	Myoporum laetum	9	9	20	20	(not protected)	FAIR	MATURE	MODERATE	12	9	MODERATE	LOW	PRESERVE
17	Japanese Maple	Acer palmatum	4	4	10	10	(not protected)	FAIR	MATURE	MODERATE	12	4	MODERATE	MODERATE	PRESERVE
18	Lemon	Citrus limon	4	4	10	10	(not protected)	FAIR	MATURE	MODERATE	12	4	SEVERE	LOW	REMOVE (X)
19	Holly	Ilex spp.	est. 6, (2) 4	8	15	15	(not protected)	FAIR	MATURE	HIGH	8	5	MODERATE	MODERATE	PRESERVE
20	Coast Live Oak	Quercus agrifolia	est. 18	18	40	30	PROTECTED	FAIR	MATURE	HIGH	8	12	MODERATE	MODERATE	PRESERVE
21	Yucca	Yucca spp.	4	4	10	5	(not protected)	FAIR	MATURE	MODERATE	12	4	SEVERE	LOW	REMOVE (X)
KEY:															
#	Neighboring tree (overhanging property) / public right-of-way														
	Tree Removal														
SEE GLOSSARY FOR DEFINITION OF TERMS															
**ASSUMES STANDARD AND SPECIAL TREE PROTECTION MEASURES ARE FOLLOWED.															

# TREE PROTECTION ZONE MAP

905 LEONELLO AVE, LOS ALTOS, CA

DATE:  
04/29/22

TPZ ELEMENTS DRAWN:  
B. FIRESTONE  
ISA-CERTIFIED ARBORIST  
#WE-8525A

BASE MAP: SITE PLAN A0.5  
by KYLE CHAN ARCHITECT  
(2/18/2022)

ARBORIST REPORT  
pg. 24

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PROGRESS SET  
7.28.2022

Sheet Revisions:

△

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ELECTRONIC PLAN REVIEW

ZHANG RESIDENCE  
NEW RESIDENCE  
905 LEONELLO AVE  
LOS ALTOS, CA 94024

PROGRESS SET  
NOT FOR CONSTRUCTION

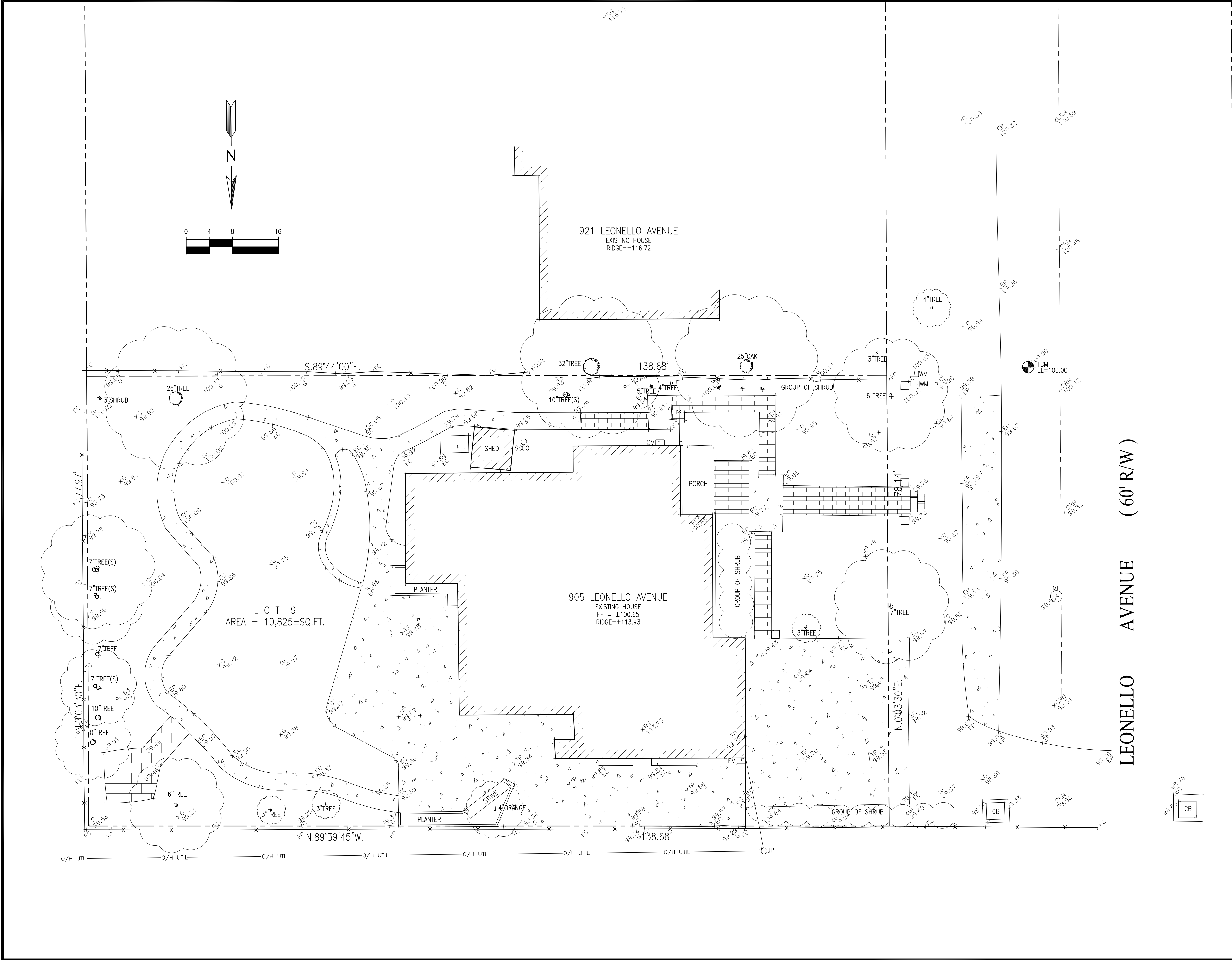
ARBORIST PTZ  
PLAN

CITY STAMP:

A0.4

PROJECT NUMBER: 2112  
905 LEONELLO AVE





LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOP OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS:

THE BEARING, N0°03'30"E, OF THE CENTER LINE OF LEONELLO AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 12 OF MAPS AT PAGE 16, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION:

LOT 9, TRACT NO.384, MAP REF: BOOK 12 PAGE 16

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

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LOS ALTOS, CA  
APN: 189-20-014

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PALO ALTO, CA 94306  
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LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE:	AUG 25, 2021
SCALE:	1/8"=1'-0"
DRAWN:	BG
JOB:	10078

SHEET TITLE:

TOPOGRAPHIC  
SURVEY

SHEET NO.

C.0



GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
3. UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
4. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

GENERAL NOTES

5

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	RIM	RIM ELEVATION
DS	DOWNSPOUT	S	SLOPE
DWY	DRIVEWAY	SD	STORM DRAIN LINE
(E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GRADING	SDFM	STORM DRAIN FORCED MAIN
EM	ELECTRICAL METER	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR ELEVATION	TW	TOP OF WALL ELEVATION
FG	FINISHED GROUND ELEV.	TYP	TYPICAL
FP	FINISHED PAVEMENT	W	DOMESTIC WATER LINE
FS	FINISH SURFACE ELEV	WM	WATER METER

ABBREVIATION

4

—SS—	SANITARY SEWER	—SL—	STREET LIGHT
—E—	ELECTRIC	—IRR—	IRRIGATION
—TV—	TV/CABLE TV	—X—	FENCE
—FS—	FIRE SERVICE	—JT—	JOINT TRENCH
—W—	DOMESTIC WATER	—O/H—	OVERHEAD WIRES
—T—	TELEPHONE	×16.07	(E) SPOT ELEVATION
—G—	NATURAL GAS	×16.07	(N) SPOT ELEVATION
—FM—	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.		
DS	DOWNSPOUT		

LEGEND

3

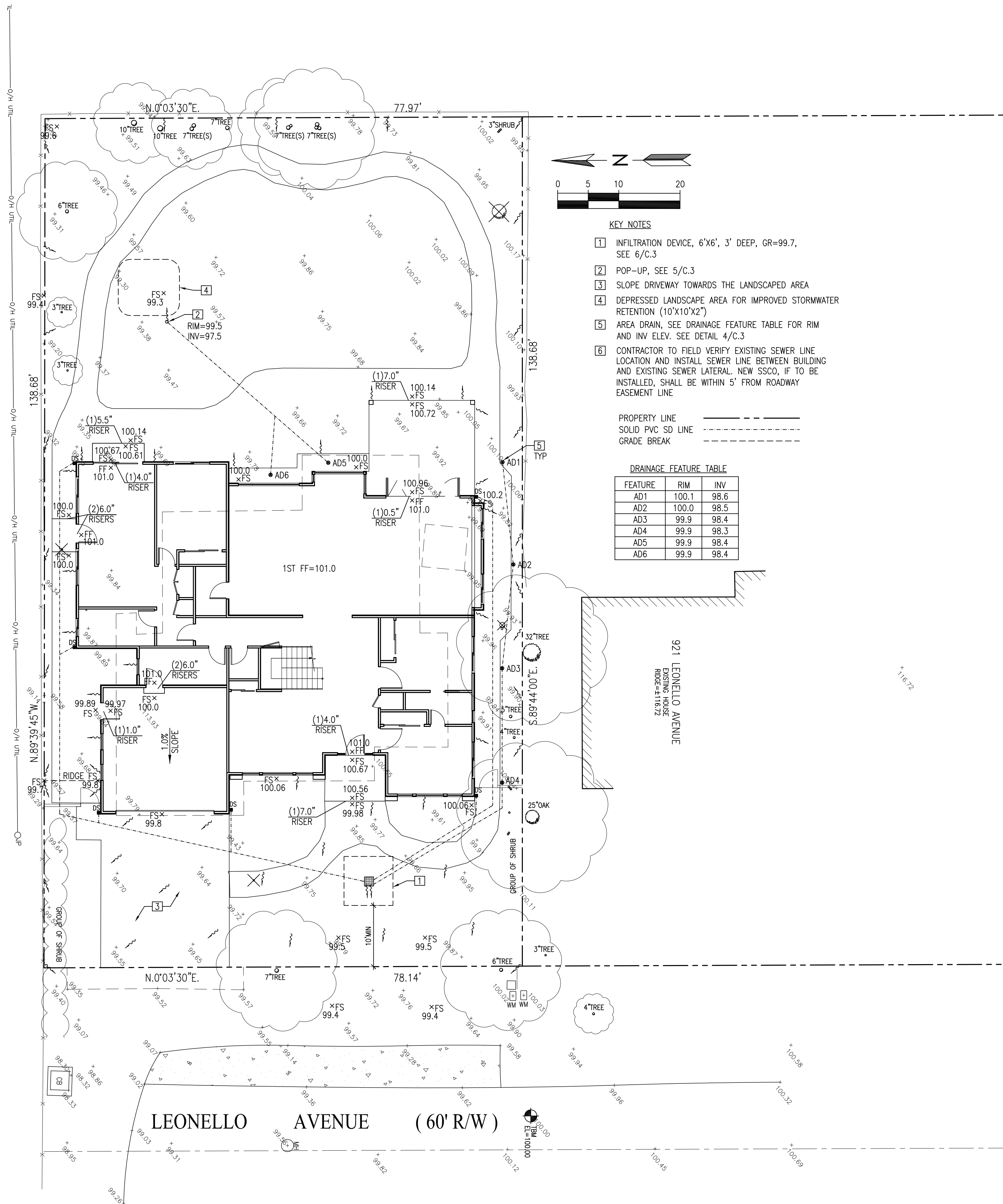
EARTHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	20 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	210 C.Y.
FILL	25 C.Y.
BALANCE	205 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST.

2



GRADING AND DRAINAGE PLAN SCALE: 1"=10'

1

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LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE:	JULY 14, 2022
SCALE:	AS SHOWN
DRAWN:	J
JOB:	10078

SHEET TITLE:

GRADING & DRAINAGE PLAN

SHEET NO.

C.1

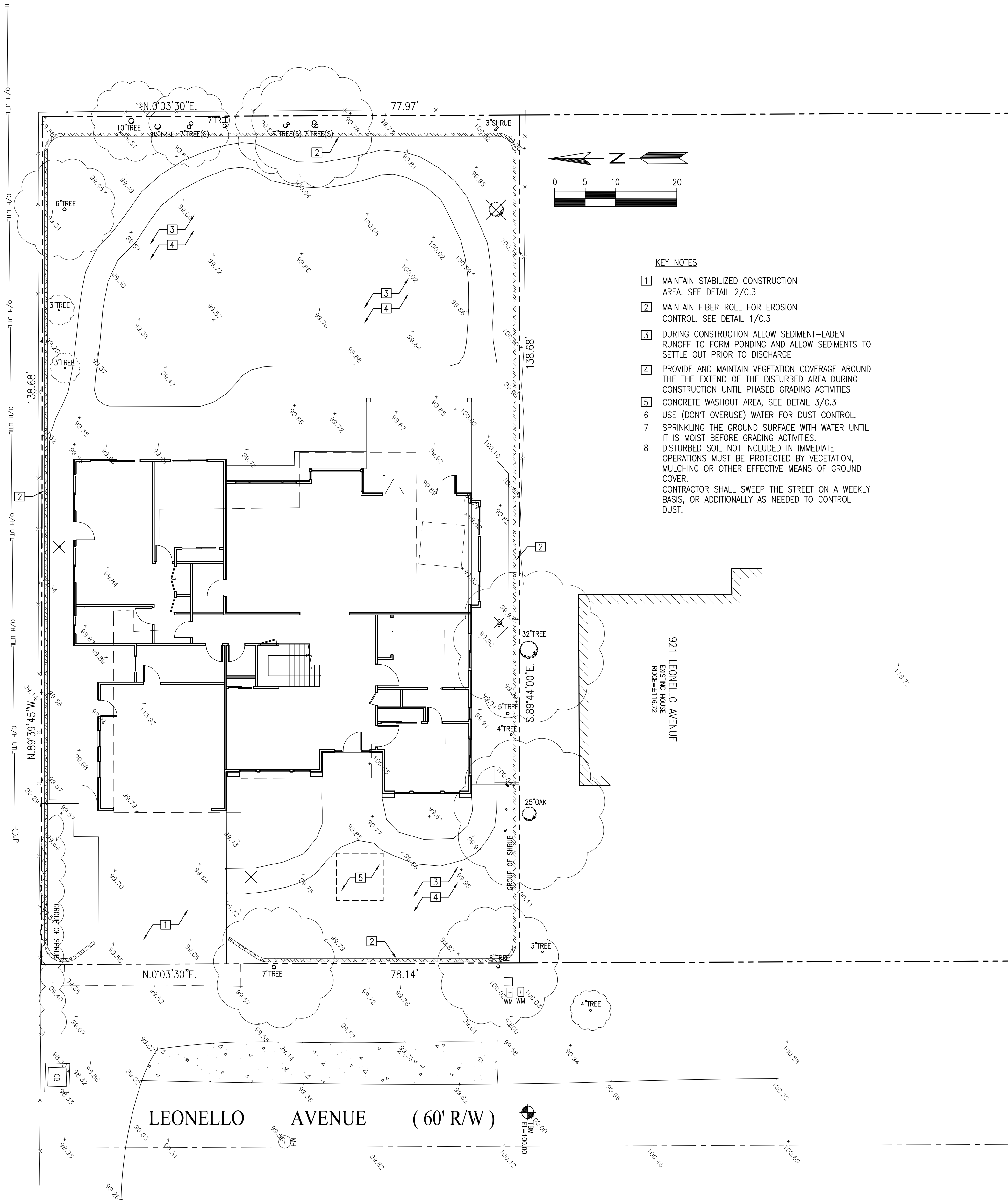


EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

GENERAL NOTES

2



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LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: JULY 14, 2022  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

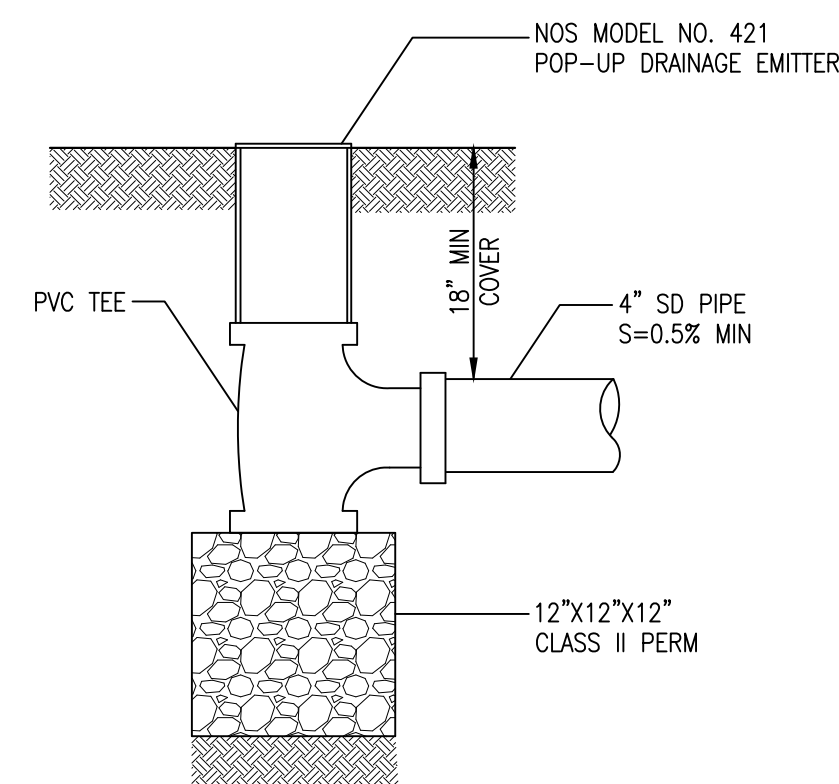
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EROSION  
CONTROL  
PLAN

SHEET NO.

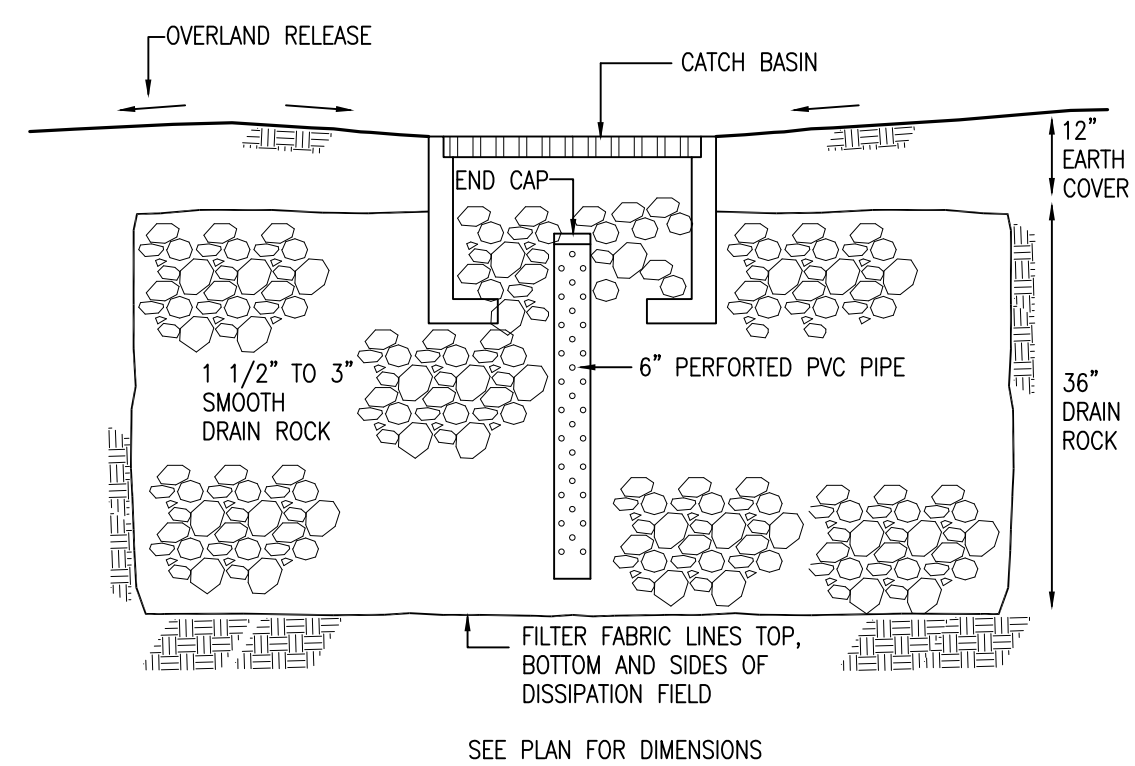
C.2





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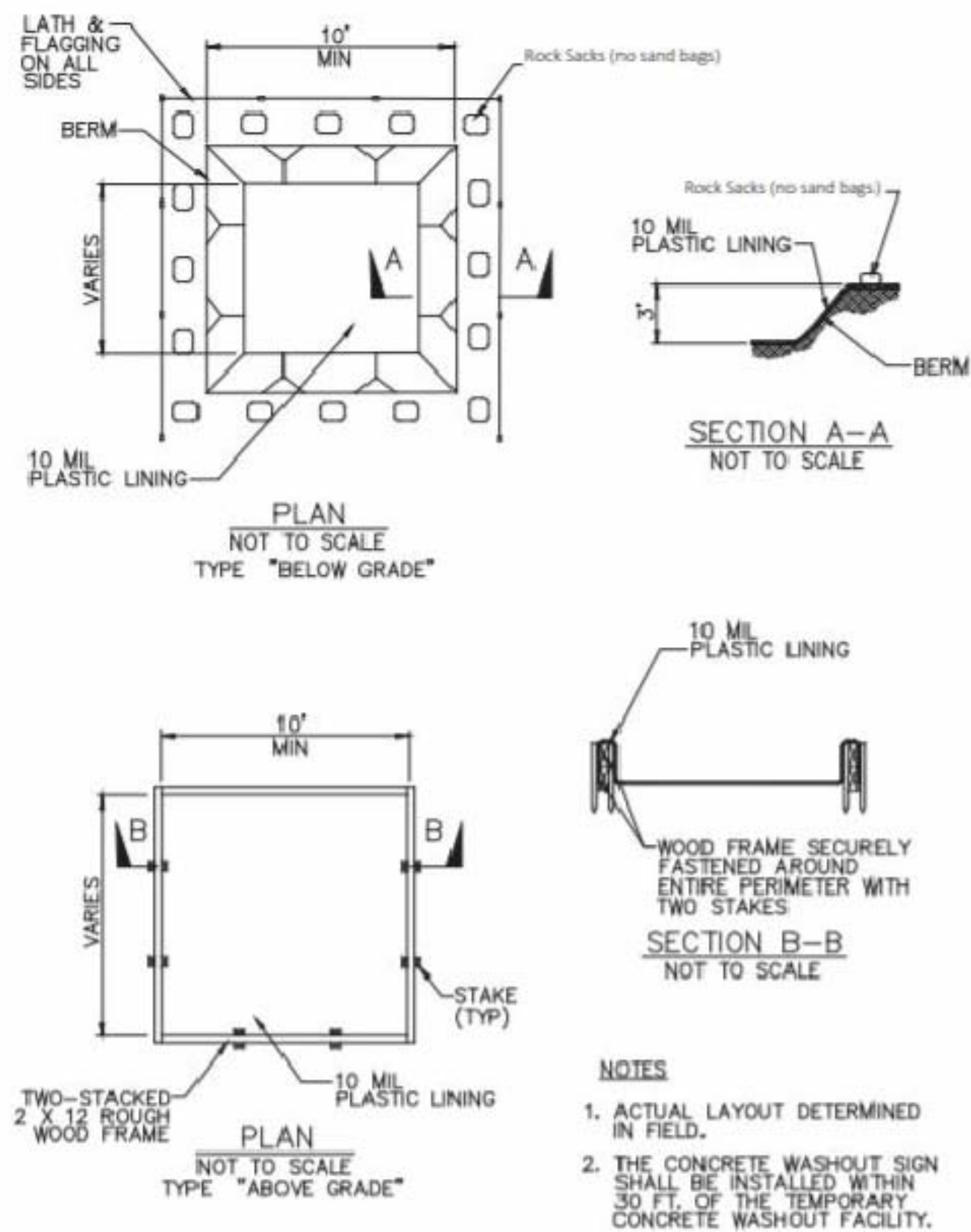
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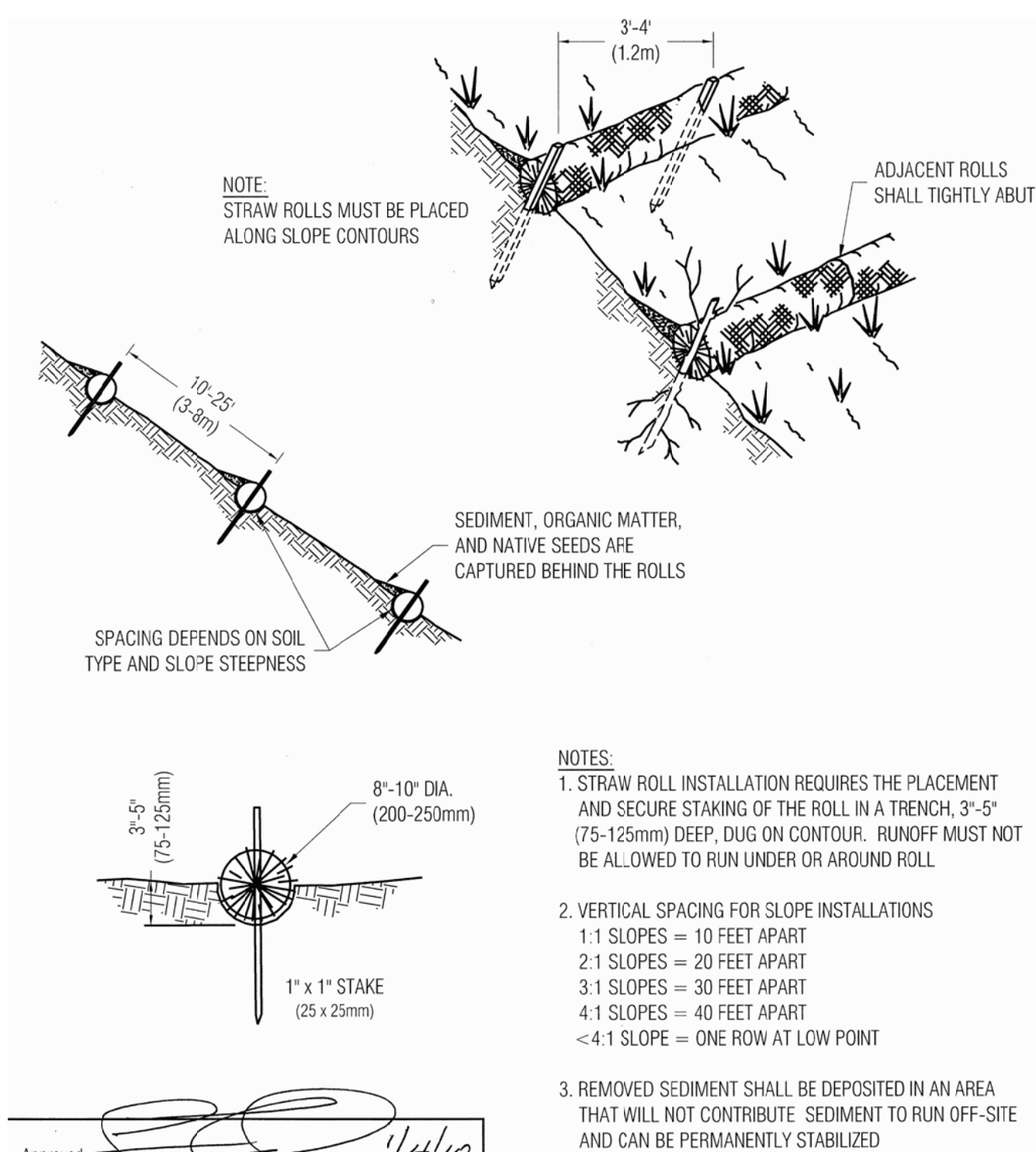
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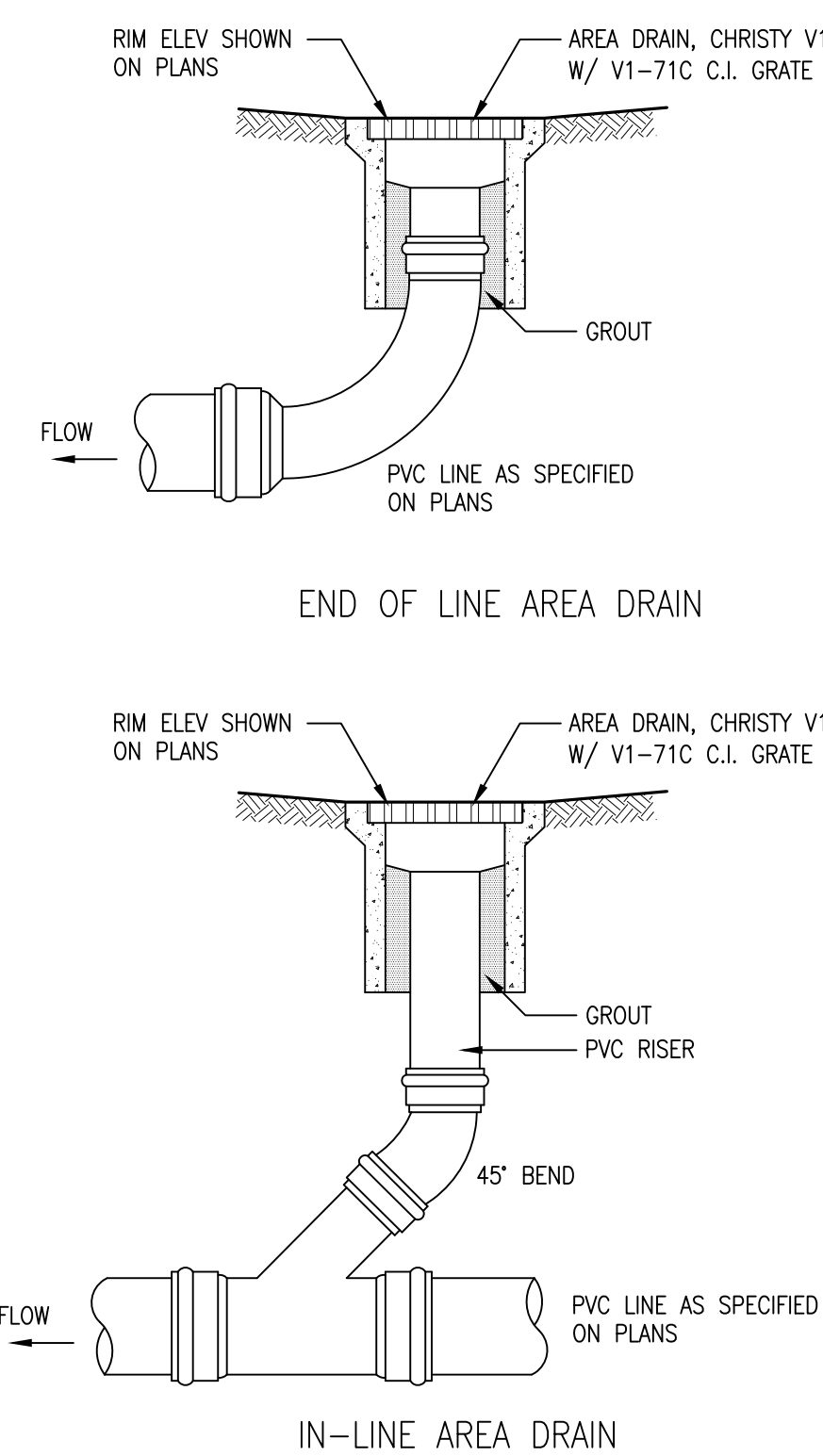
CONCRETE WASHOUT AREA

3



### FIBER ROLL DETAIL

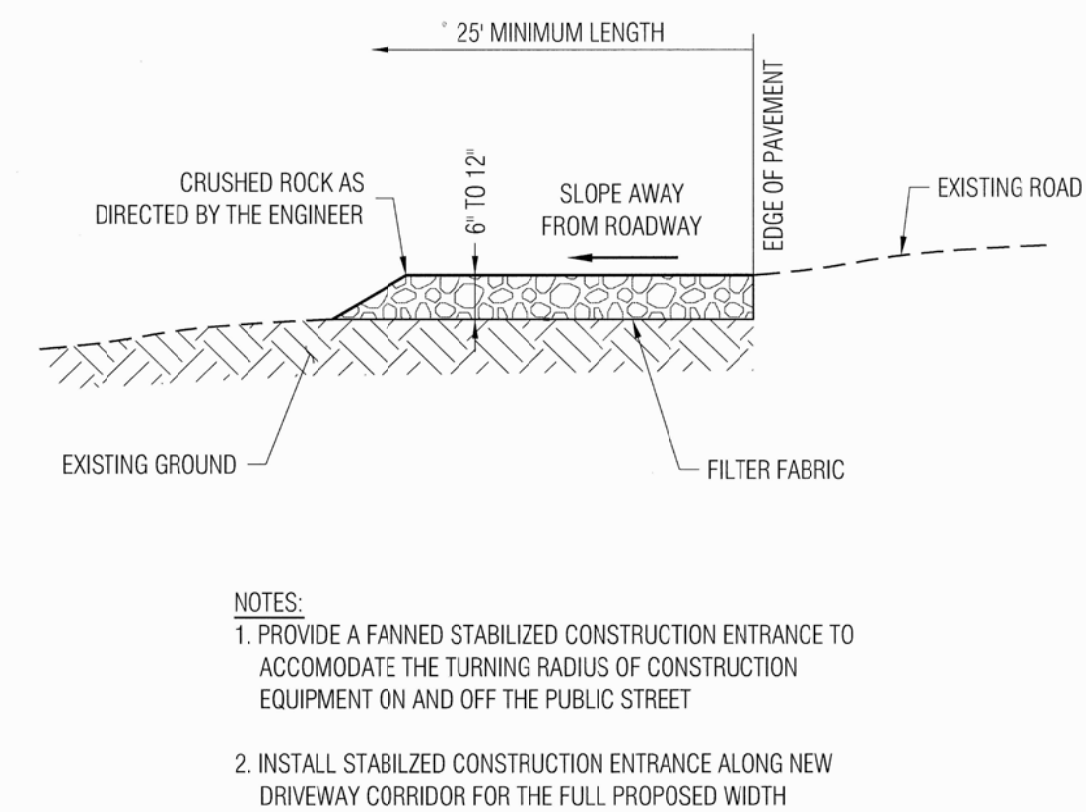
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## AREA DRAIN DETAILS

SCALE: N.T.S.

4



STABILIZED CONSTRUCTION ENTRANCE

2

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LICENSE STAMPS AND SIGNATURE



ISSUEC

[illegible]

DATE: JULY 14, 2022

SCALE: AS SHOWN

DRAWN: \_\_\_\_\_

JOB: 1007

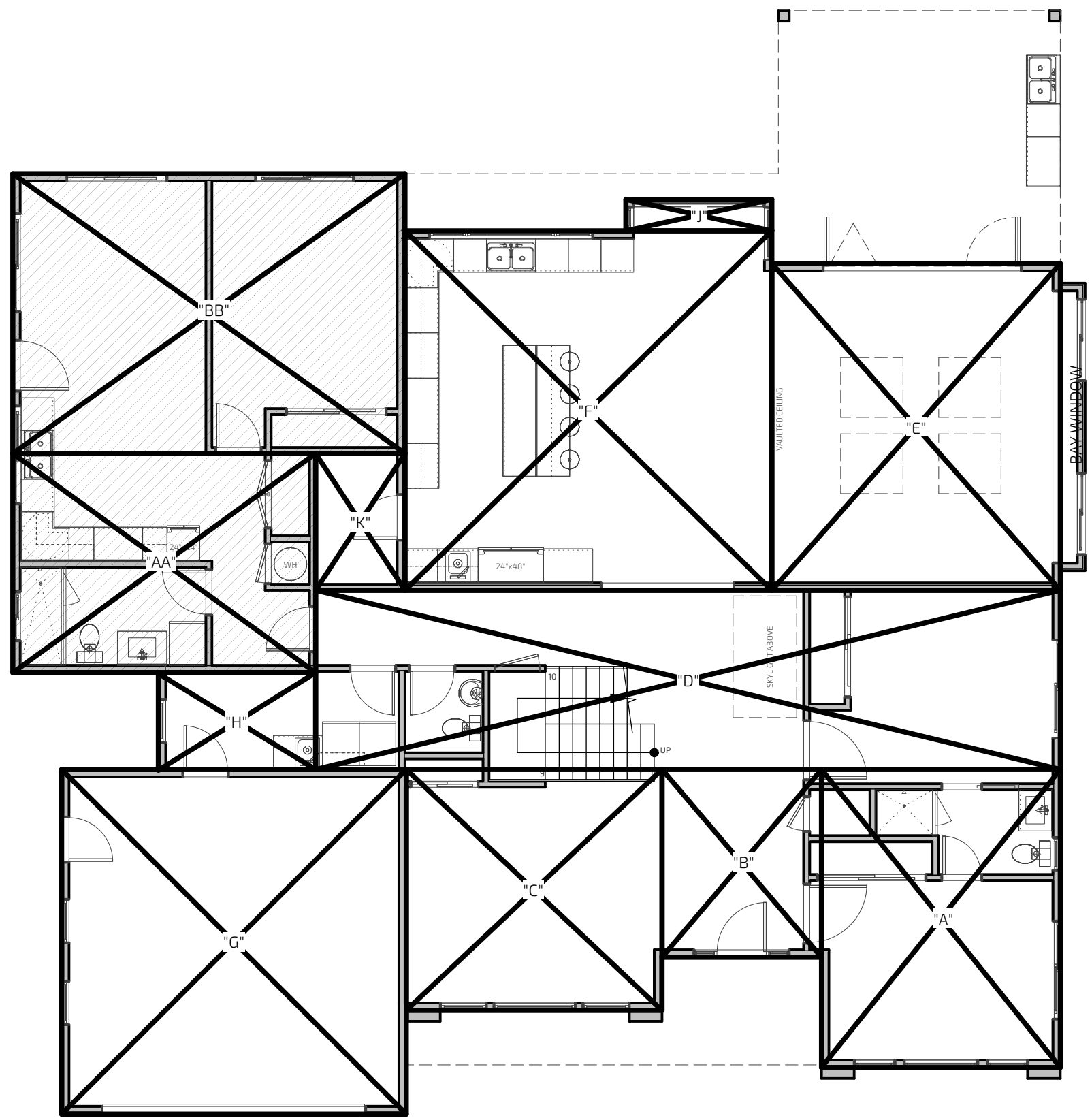
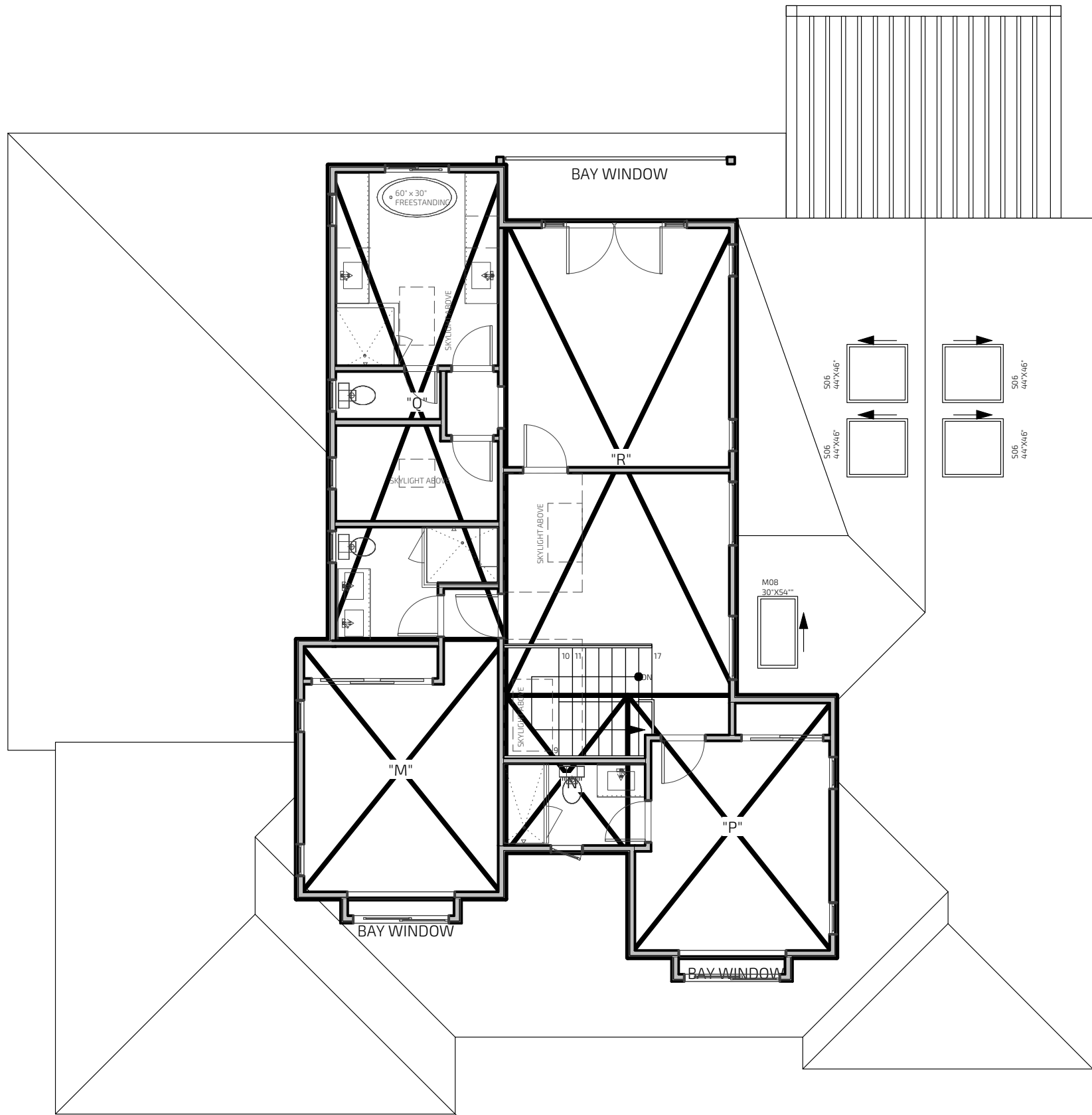
SHEET TITLE:

## DETAILS

SHEET NO.

## C.3

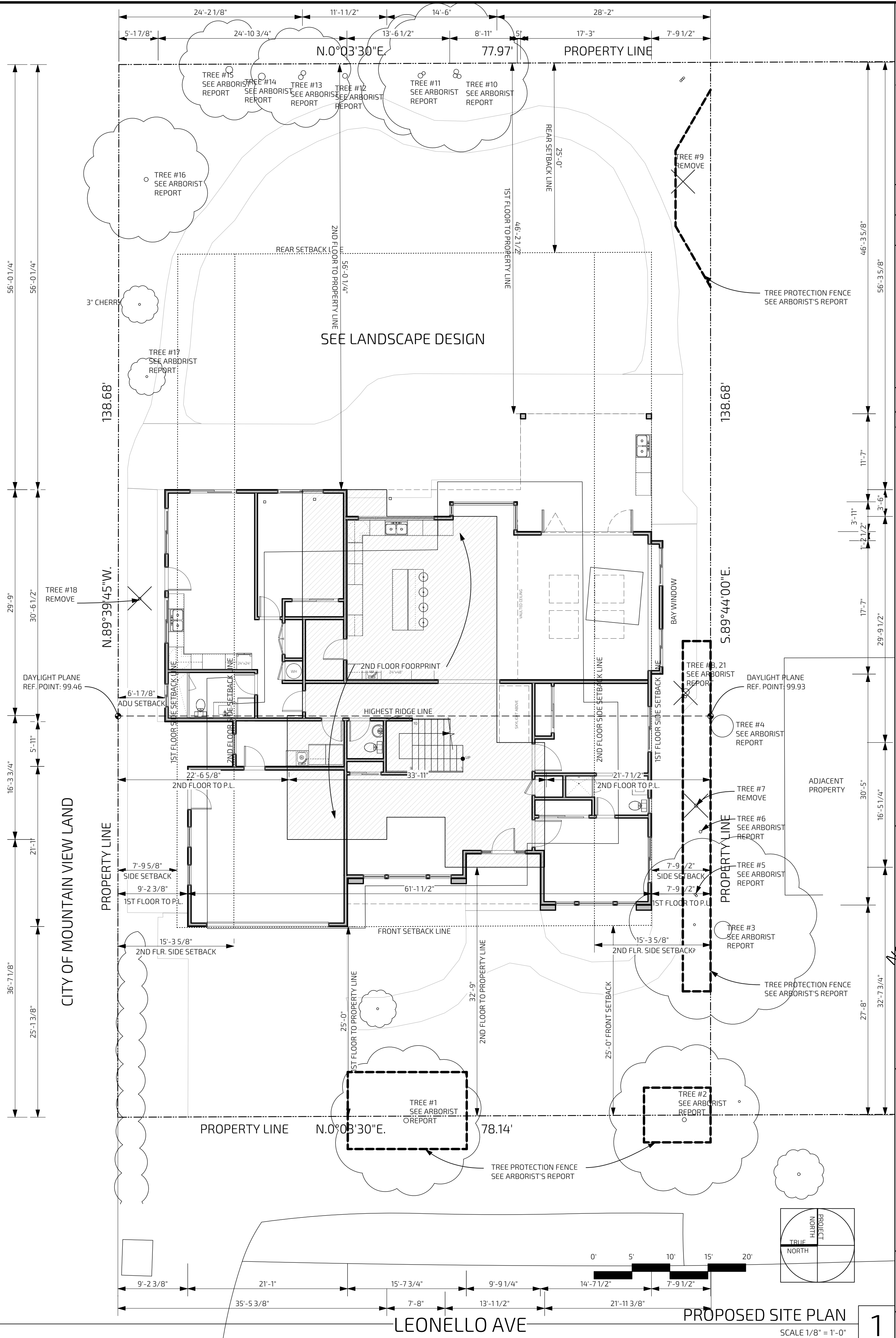




FLOOR AREA CALCULATION		
LABEL	DIMENSIONS	AREA
A	14.75 X 18.3	267 SF
B	9.925 X 11.6	112 SF
C	15.75 X 14.9	231 SF
D	45.7 X 10.11.5	500 SF
E	17.8 X 20.0	353 SF
F	22.5 X 22.0	494 SF
H	97.5 X 5.11	575 SF
K	55.5 X 8.4.5	465 SF
L	10.775 X 12.5	135 SF
M	131.5 X 16.3.7	214 SF
N	7.8 X 9.10.2	76 SF
P	13.15 X 10.5.2	216 SF
Q	11.15 X 2.9.9	331 SF
R	14.6 X 29.9.5	432 SF
CONDITIONED AREA		
1ST FLOOR (A-J)		2,073 SF
2ND FLOOR (F-H)		1,269 SF
TOTAL		3,342 SF
GARAGE (G)		
211 X 211		445 SF
TOTAL BUILDING		3,787 SF
FLOOR AREA RATIO		
LOT SIZE		10,825 SF
F.A.R.		34.98
ATTACHED ADU		
AA	18.6.5 X 13.5	249 SF
BB	24. X 17.1.5	411 SF
TOTAL ADU		660 SF
TOTAL BUILDING (MAIN + ADU)		4,447 SF
OUTDOOR PORCHES		
T	34.4.75 X 11.0	378.4 SF
U	77.25 X 5.9	437.5 SF
V	12.8 X 13.4	168.9 SF
W	12.2 X 3	36.5 SF
TOTAL		627.5 SF
LOT COVERAGE		
= 1ST FLOOR + GARAGE + PORCHES		
= 2073 + 445 + 627.5		
= 3,145.5 SF		
EXISTING BUILDING		
HABITABLE SPACE		2,198 SF
GARAGE		402 SF
TOTAL		2,600 SF
EXISTING SHED		62 SF

AREA CALCULATION  
SCALE 1/8" = 1'-0"

3

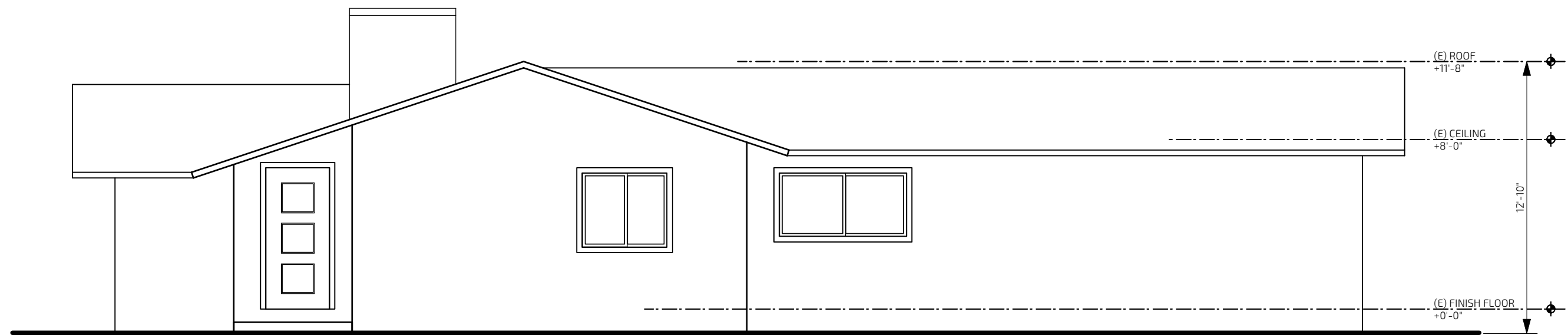


LEONELLO AVE

PROPOSED SITE PLAN  
SCALE 1/8" = 1'-0"

1

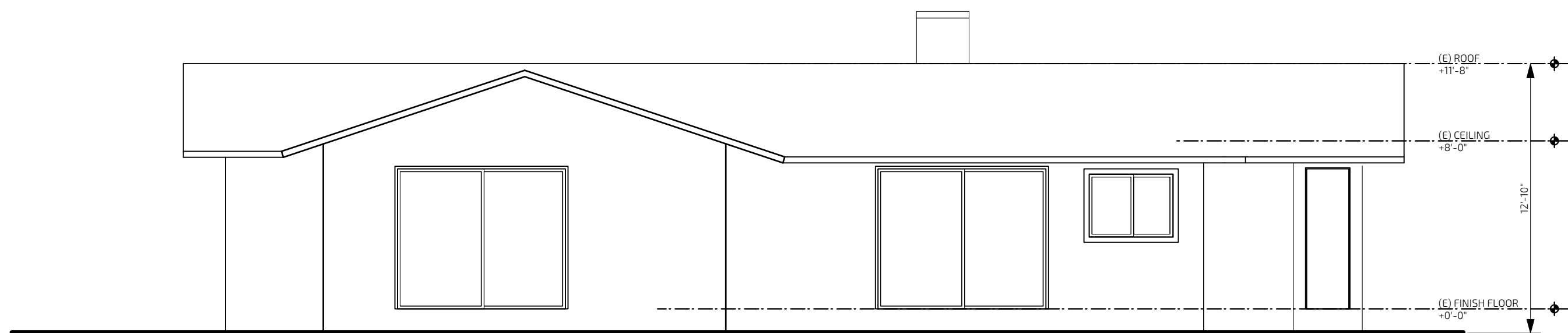




EXISTING NORTH - FRONT ELEVATION

SCALE 3/16" = 1'-0"

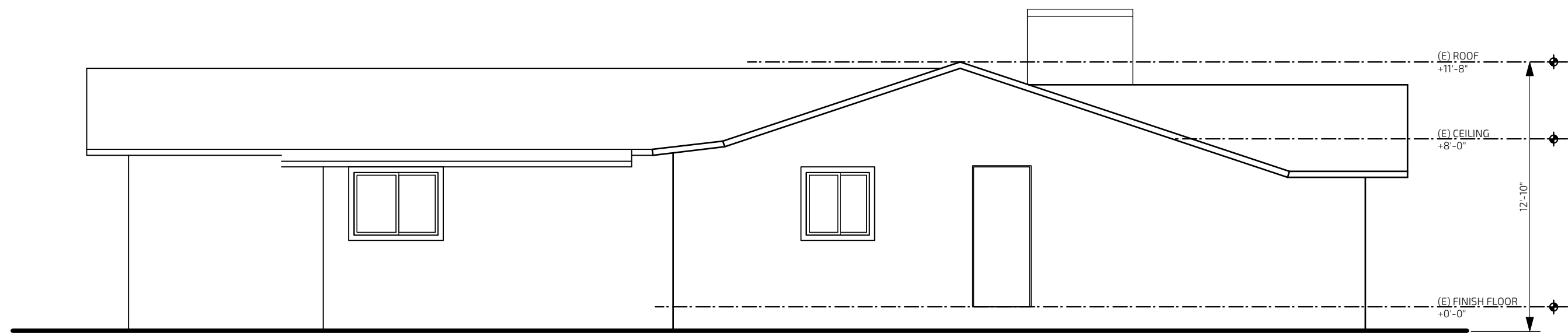
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EXISTING WEST- RIGHT ELEVATION

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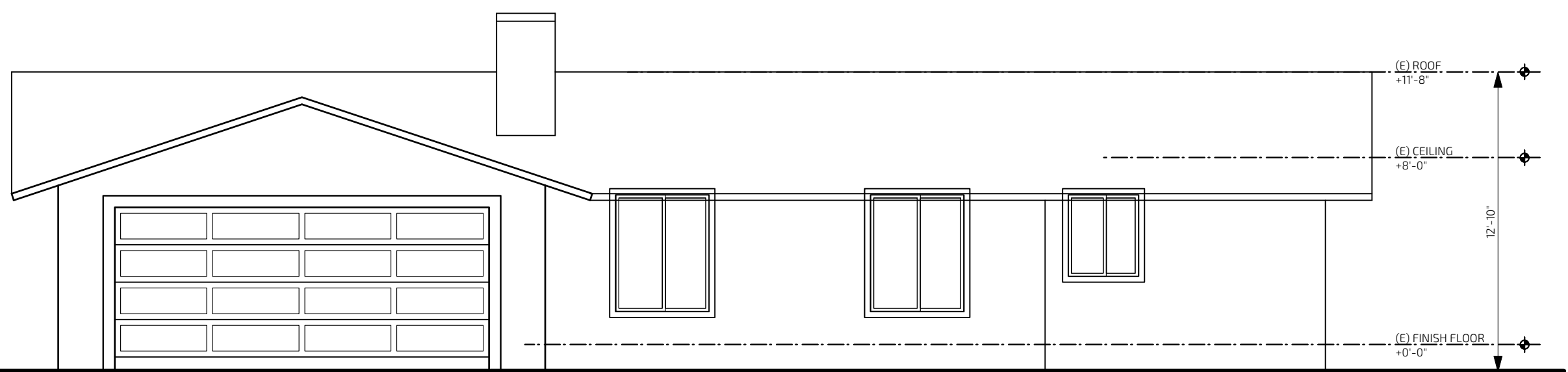
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EXISTING SOUTH- BACK ELEVATION

SCALE 3/16" = 1'-0"

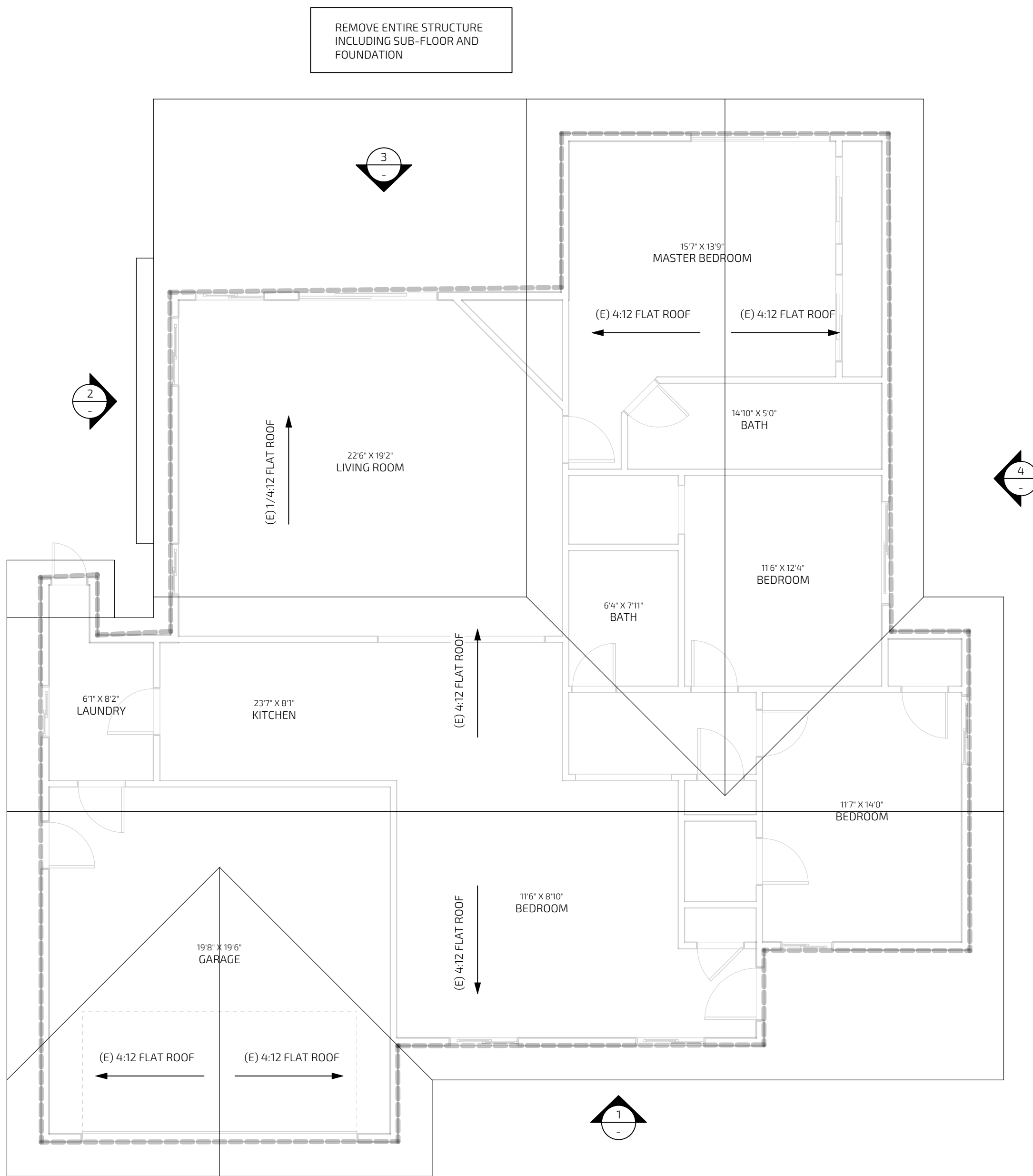
2



EXISTING EAST - LEFT ELEVATION

SCALE 3/16" = 1'-0"

1



EXISTING FLOOR / ROOF PLAN

SCALE 3/16" = 1'-0"

5

kc

kylechan  
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PROGRESS SET  
7.28.2022

Sheet Revisions:



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ELECTRONIC PLAN REVIEW

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NEW RESIDENCE  
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LOS ALTOS, CA 94024

PROGRESS SET  
NOT FOR CONSTRUCTION

EXISTING  
FLOOR PLAN/  
ELEVATIONS

CITY STAMP:

A1.1

PROJECT NUMBER: 2112  
905 LEONELLO AVE









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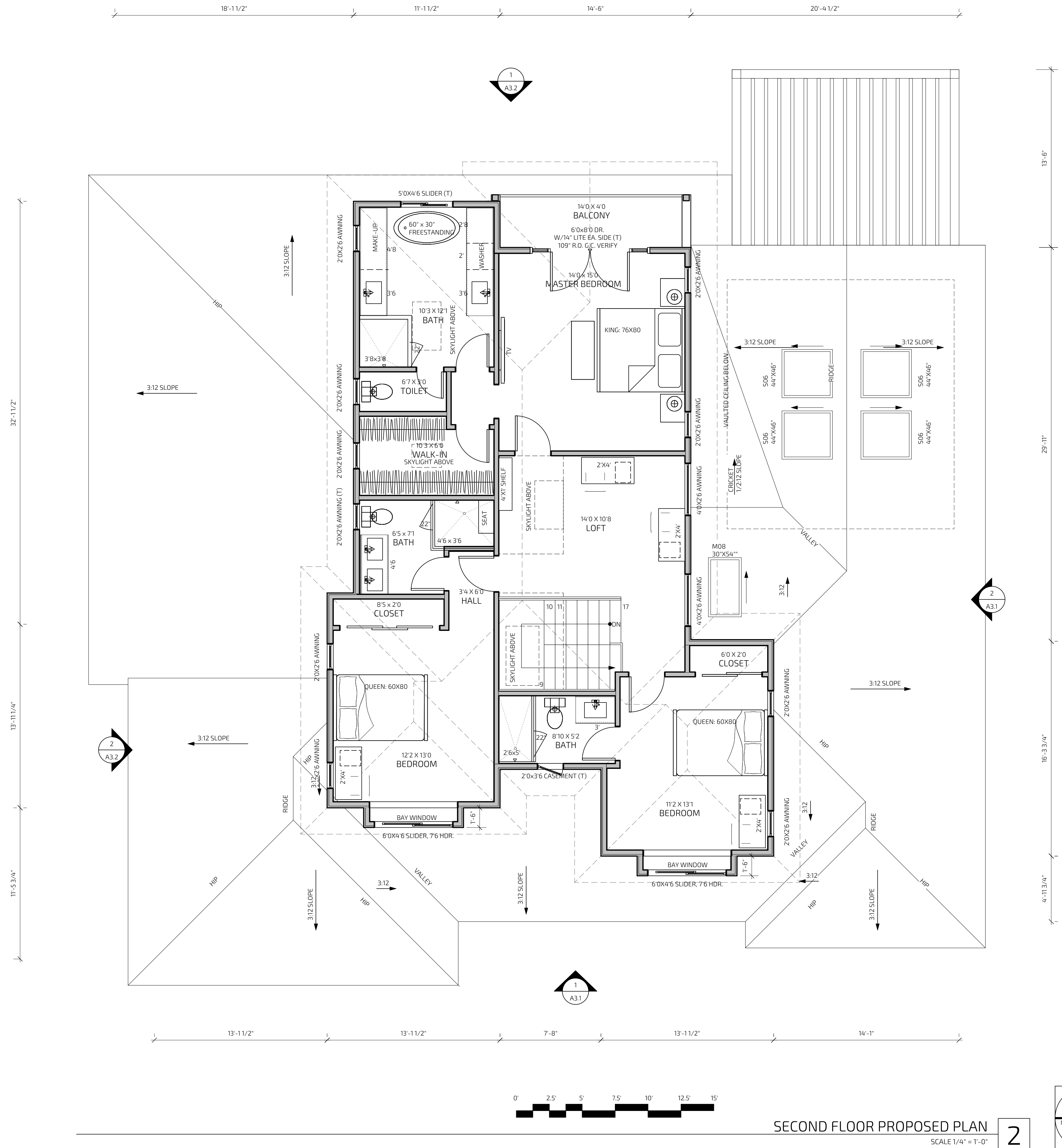
### PROGRESS SET FOR CONSTRUCTION

## SECOND FLOOR PROPOSED PLAN

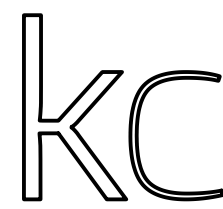
CITY STAMP:

## A2.2

PROJECT NUMBER: 2112  
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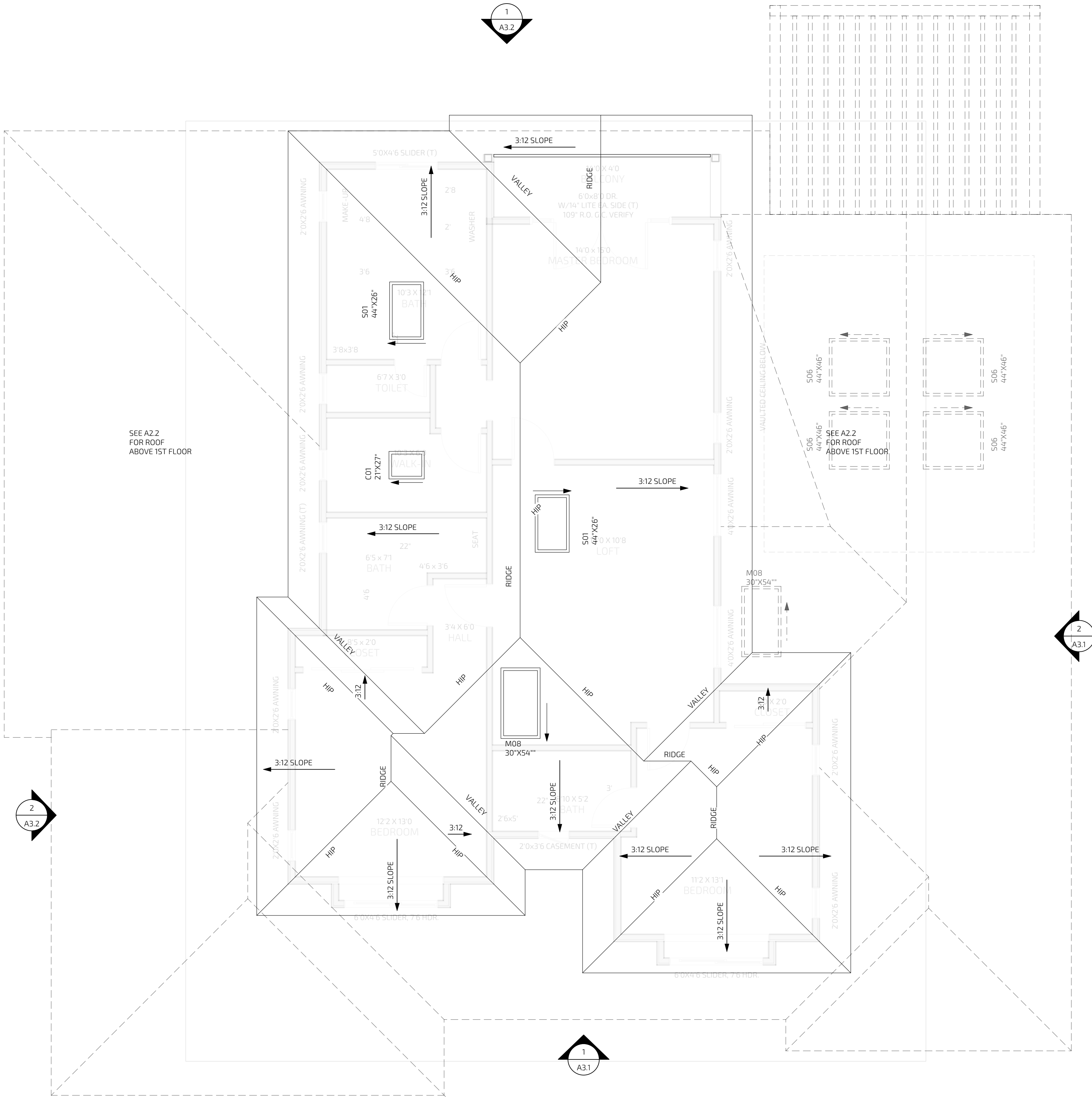
PROGRESS SET  
NOT FOR CONSTRUCTION

PROPOSED  
ROOF PLAN

CITY STAMP:

A2.3

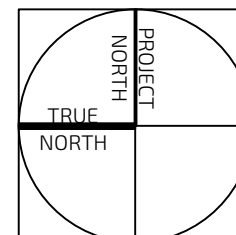
PROJECT NUMBER: 2112  
905 LEONELLO AVE



PROPOSED ROOF PLAN

SCALE 1/4" = 1'-0"

1







(\*) \*\* STONE PANEL TO BE ADHERED PER CRC R703.2. SEE ICC-REPORT FOR INSTALLATION SPECIFICATIONS.

1. PAINT ALL EXTERIOR WINDOW TRIM, SILLS, NON-VINYL SASH, MUTTINGS, DECK RAILINGS, DECK FASCIA, BEAMS AND TRELLISES, RAFTER TAILS AND EAVE TRIM AND GUTTER BOARDS.  
PROTECT ANY AND ALL VINES / PLANTINGS FROM DAMAGE.

2. CONTRACTOR TO CONFIRM ALL FINISH WITH OWNER BEFORE ORDERING.

3. PROVIDE COEFFICIENT OF FRICTION OF 0.6 OR HIGHER FOR ALL FLOOR TILE & EXTERIOR FLAG STONE SURFACE.

4. FOR ALL WALL FINISHES, SEE WALL SCHEDULE ON A2.1 FOR UNDERLAYMENT REQUIREMENTS.

5. THE FASTENERS FOR THE ROOFING SHALL BE CORROSION RESISTANT PER **CRC R905.2.5.**

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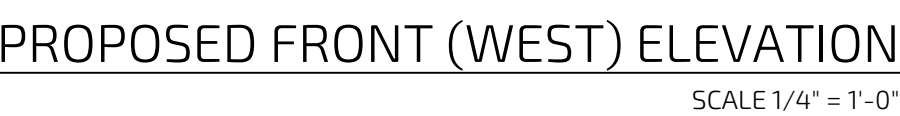
PROGRESS SET  
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## PROPOSED ELEVATIONS

CITY STAMP

### A3.1

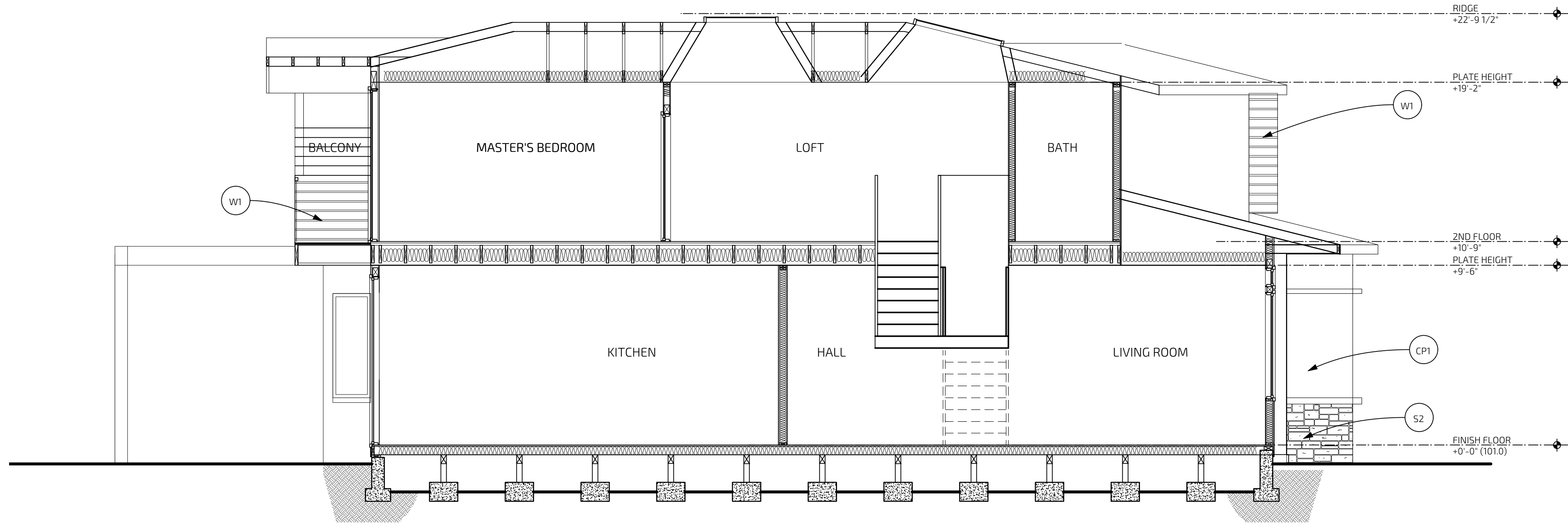
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905 LEONELLO AVE





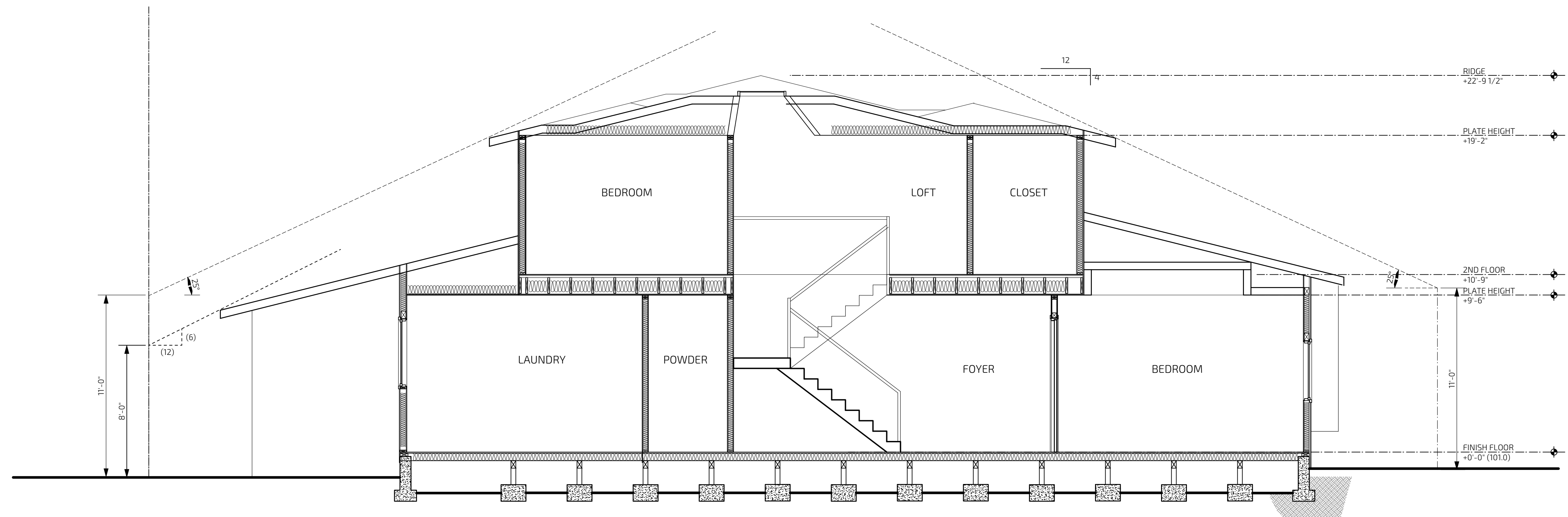






NORTH-SOUTH SECTION  
SCALE 1/4" = 1'-0"

2



EAST WEST SECTION  
SCALE 1/4" = 1'-0"

1

kc

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PROGRESS SET  
NOT FOR CONSTRUCTION

PROPOSED  
SECTIONS

CITY STAMP:

A8.0

PROJECT NUMBER: 2112  
905 LEONELLO AVE





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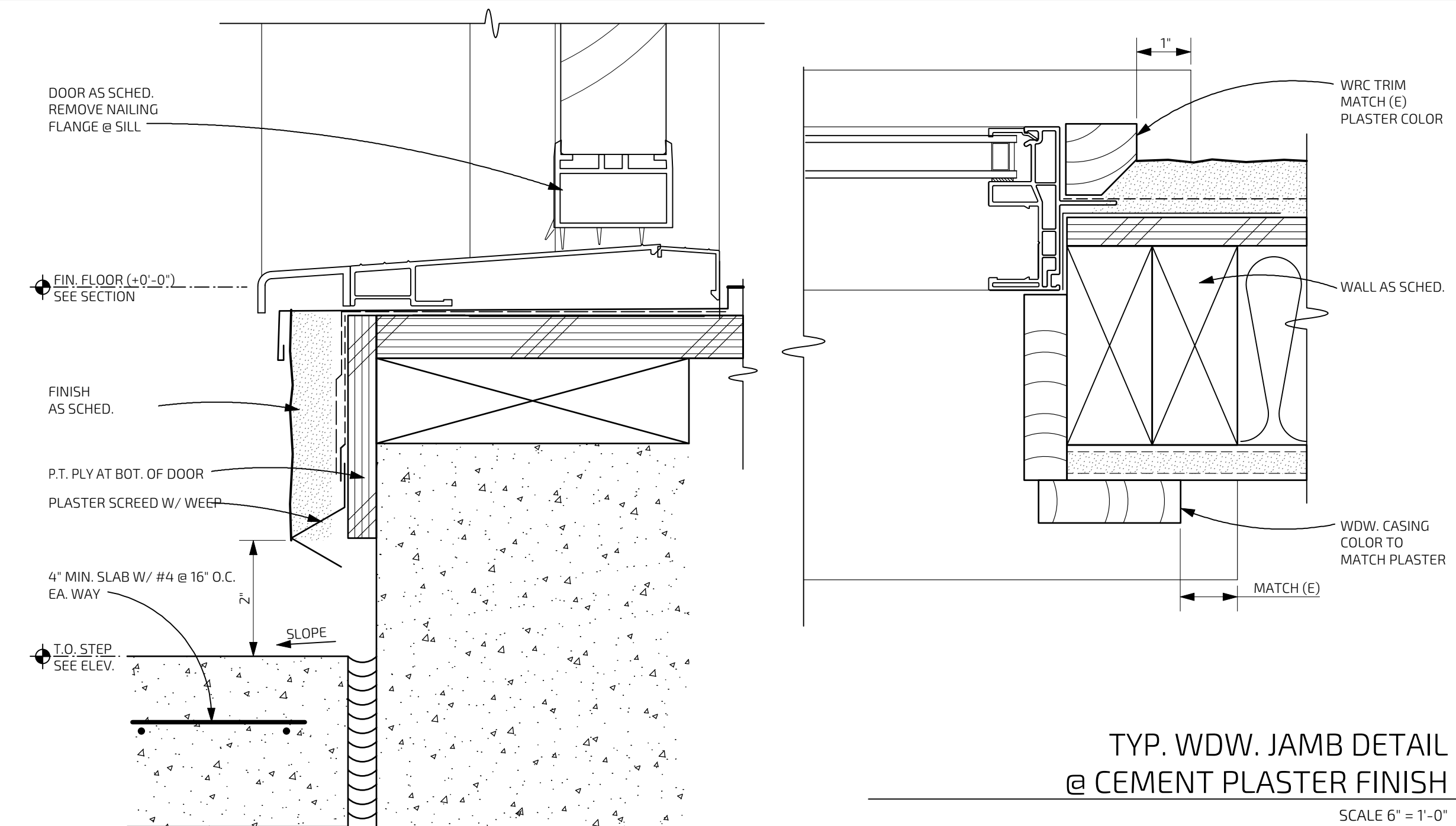
PROGRESS SET  
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## EXTERIOR DETAILS / SECTIONS

TY STAM

## A8.1

PROJECT NUMBER: 2112  
905 LEONELLO AVE



TYP. WDW. JAMB DETAIL  
@ CEMENT PLASTER FINISH

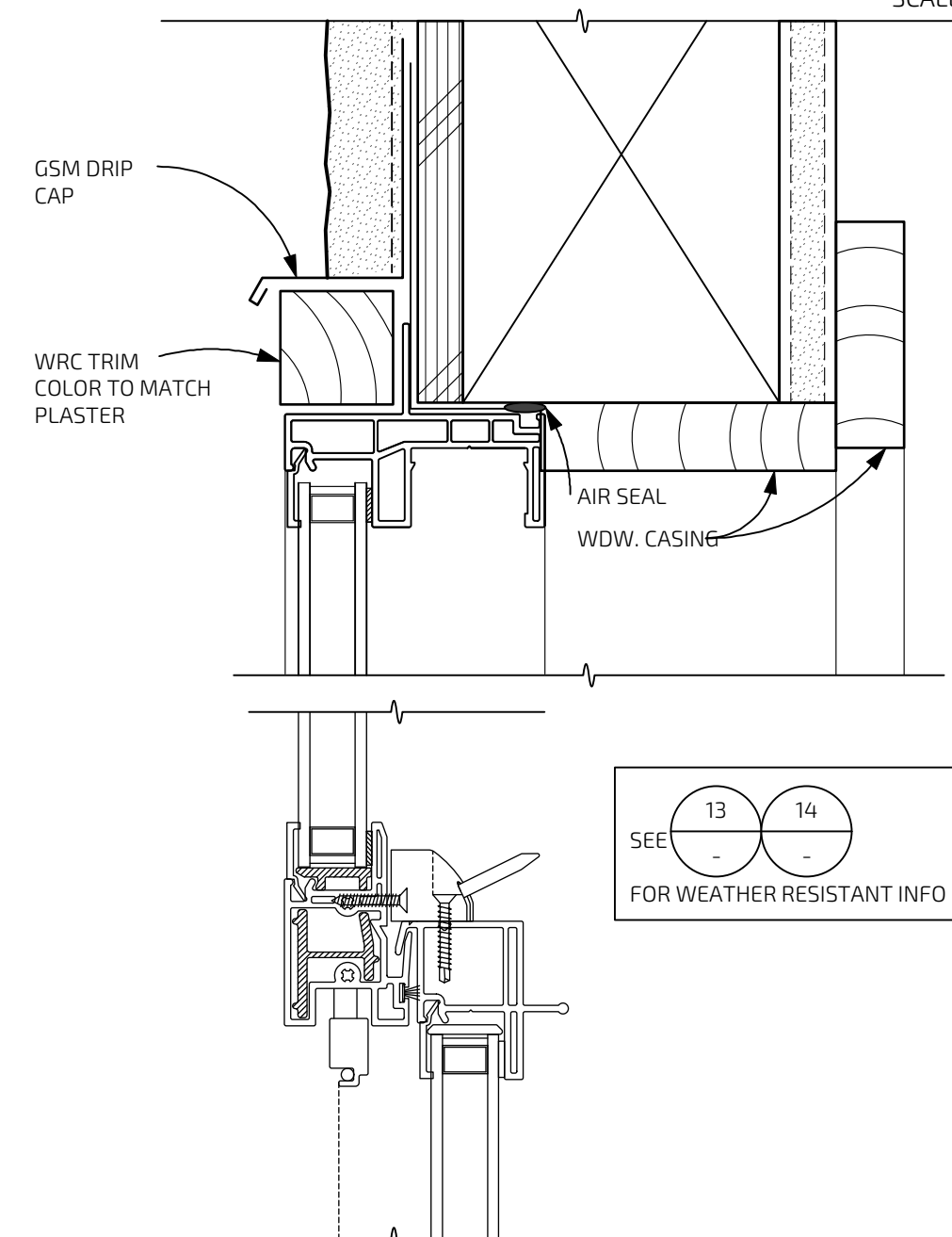
SCALE 6" = 1'-0"


9

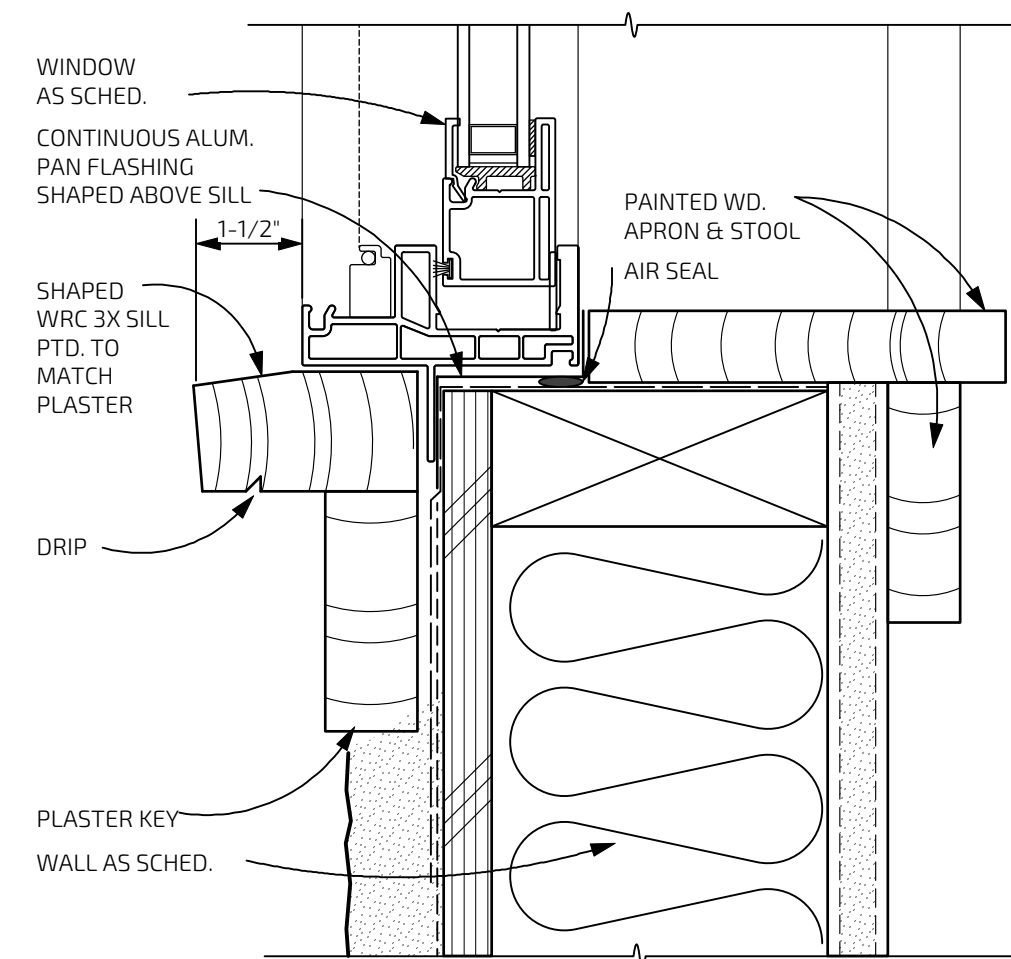
SLIDING DOOR SILL (SWING DR SIM.)

SCALE 6" = 1'-0"

12



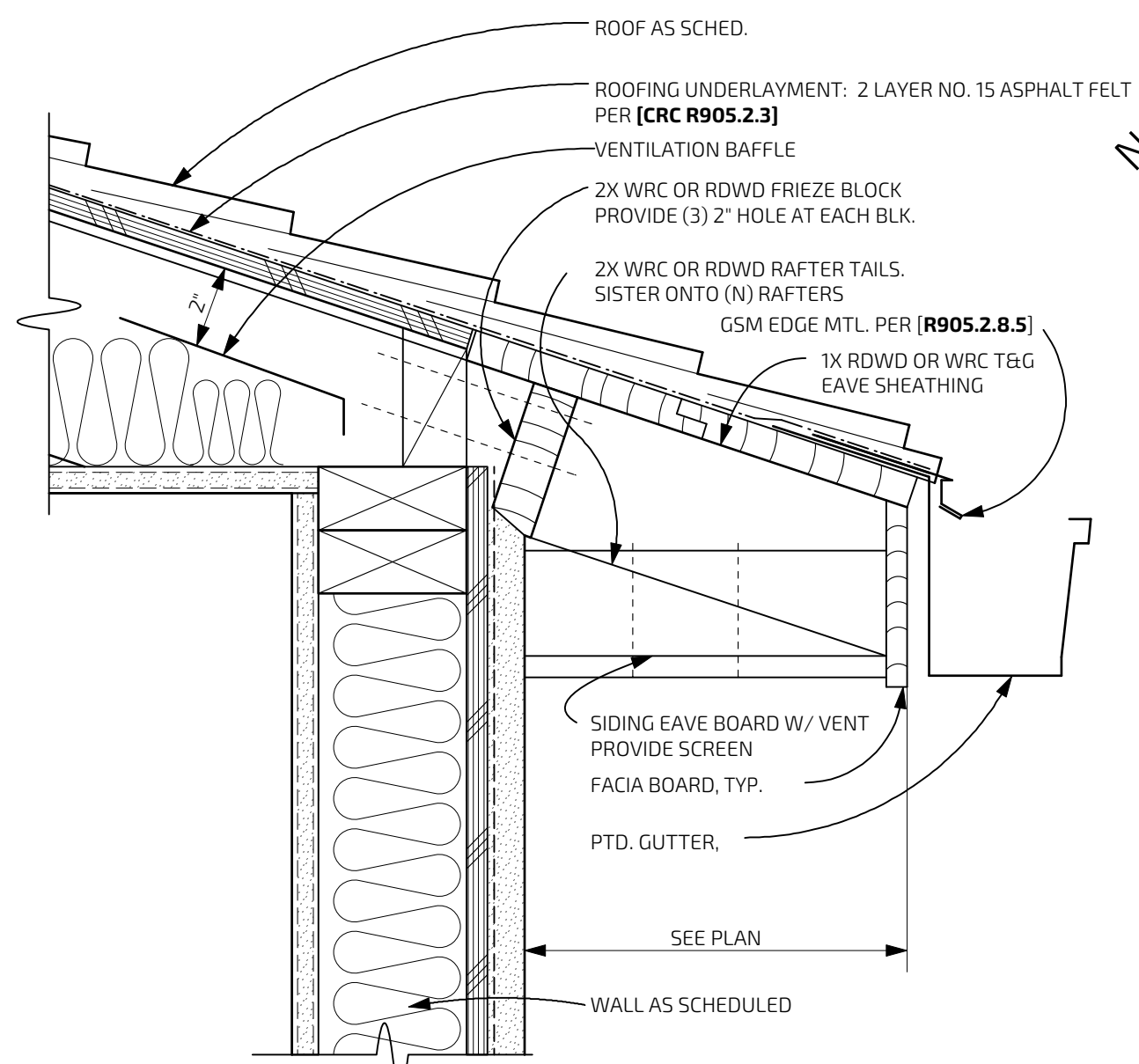
SEE  FOR WEATHER RESISTANT INFO



TYPICAL WDW. SILL  
MEETING RAIL & HEAD DETAILS @ CEM  
PLASTER FINISH (DR HEAD SIM.

SCALE 6" = 1'-0"

10



## ROOF EAVE DETAIL

SCALE 3" = 1'-0"

1



Plant Legend

KEY	QTY	SIZE GALLONS	SPACING	WUCOLS RATING	BOTANICAL NAME	COMMON NAME	Mature High x Width
-----	-----	-----------------	---------	------------------	----------------	-------------	------------------------

TALL SCREENING SHRUBS							
PG	-	15	3' - 5'	MED	Podocarpus gracilior	Fern Pine	20 - 60'x10-20'
growth rate 12" to 24" per year							

SHRUBS							
PT	-	5	4' - 7'	LOW	Pittosporum tobira		
TM	-	5	3' - 5'	LOW	Lavatera Barnsley	Tree Mallow	
EF	-	5	6' - 8'	LOW	Echium fastuosum	Pride of Madiera	
WC	-	5	3' - 5'	LOW	Westringia compacta or Morning Light		

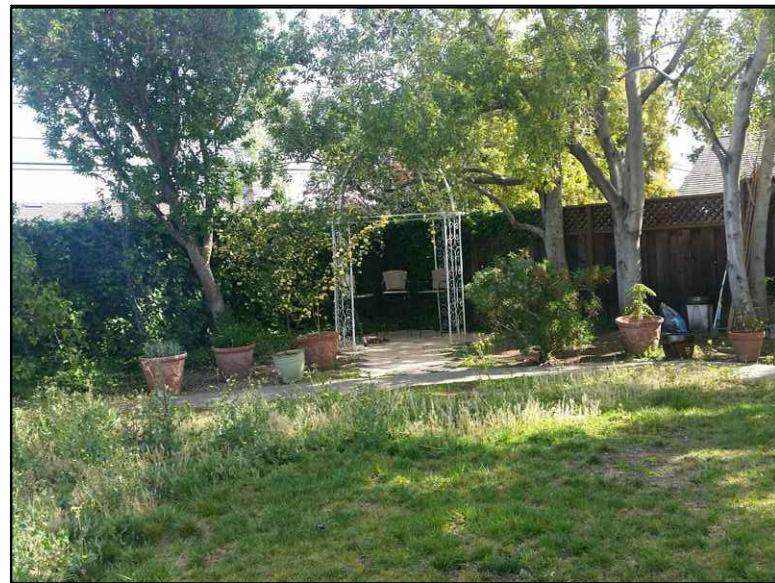
VINES							
T	-	5	3' - 8'	MED	Trachelospermum jasminoides	Star Jasmine	
C	-	5	3' - 8'	MED	Clytostoma callistigoides	Lavender Trumpet Vine	

GROUND COVERS							
L	-	1	3' - 5'	LOW	Limonium perezii	Sea Statice	
EK	-	1	3' - 5'	LOW	Erigeron karvinskianus	Santa Barbara Daisy	
LP	-	1	3' - 5'	LOW	Lomandra Platinum		
SL	-	1	4' - 8'	LOW	Salvia leucantha	Mexican Sage	
N	-	1	3' - 5'	LOW	Nandina Gulf Stream		
EP	-	1	5'-7"	LOW	Euryops pectinatis	Euryops Daisy	
LA	-	1	3'-6'	LOW	Lavandula - selected by owner	Lavender	
D	-	1	2'-4"	LOW	Aeonium canariense Mint Saucer		
CA	-	1	3' - 5'	LOW	Crassula ovata	Jade Plant	
EP	-	1	3' - 5'	LOW	Euryops pectinatus	Euryops Daisy	

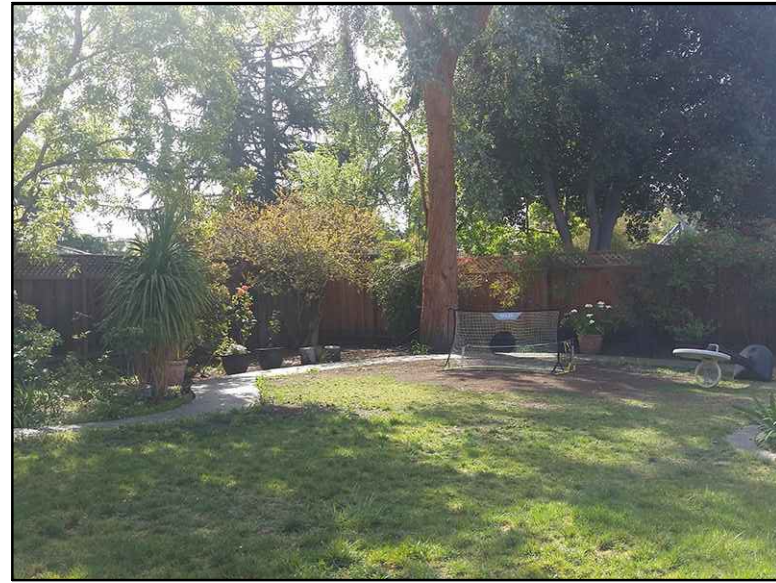
Ask owners if they want to upsize some of 1 gal plants to 5 gal plants  
Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan

Planting Notes

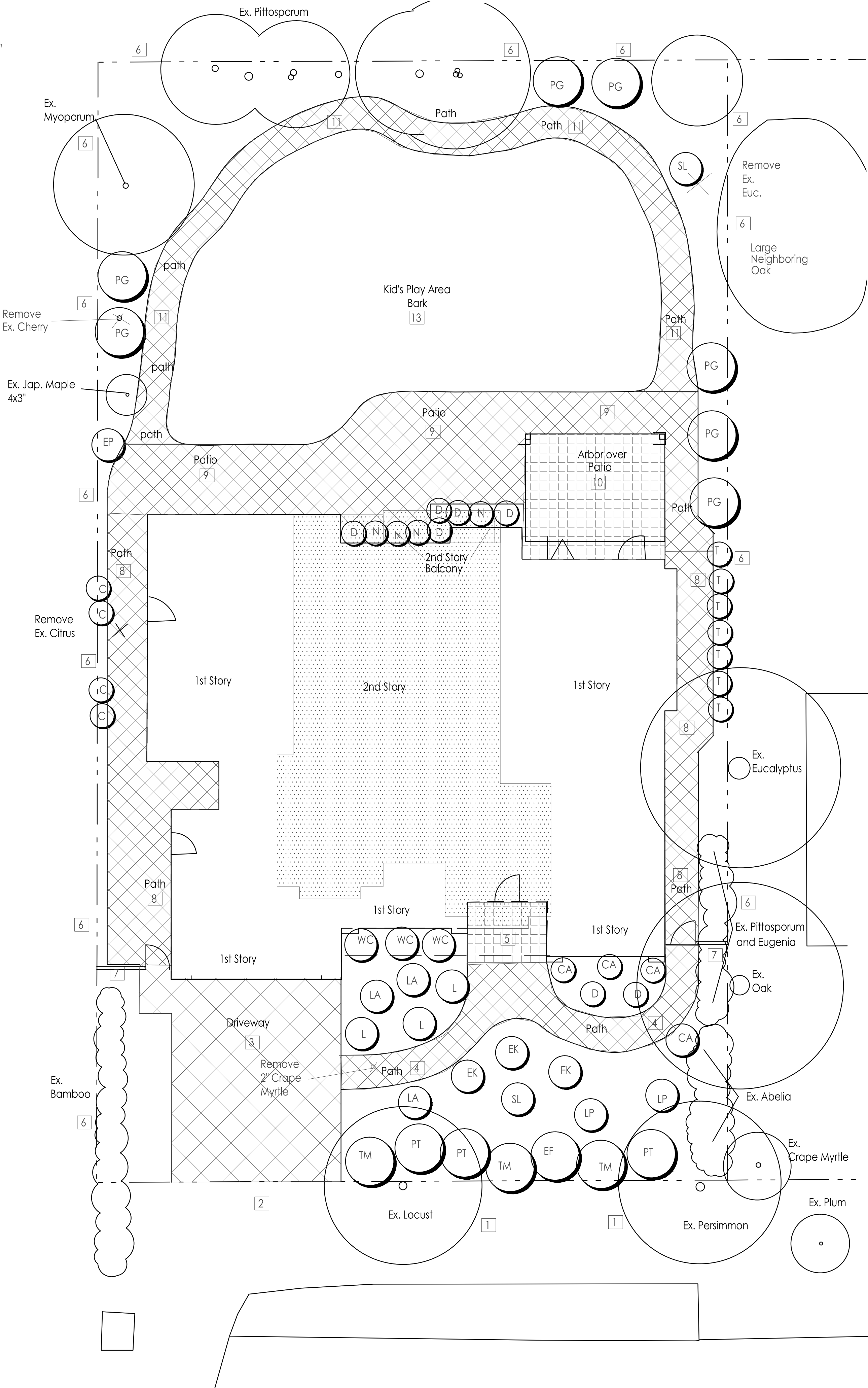
- LESS THAN 25% OF PLANTING AREA IS TURF - THERE IS NO REAL TURF
- PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES. EACH HYDROZONE SHALL BE CONTROLLED BY A SEPARATE GROUP OF VALVES
- AT LEAST 4 CUBIC YARDS OF COMPOST (BFI SUPER HUMUS) AND 16 POUNDS OF 12-12-12 FERTILIZER PER 1000 SF OF PLANTING AREA SHALL BE THOUROUGHLY TILLED INTO THE TOP 8 INCHES OF SOIL (EXCEPT UNDER CANOPY OF EXISTING TREES TO BE SAVED) OR FOLLOW THE AMENDMENT AND FERTILIZER RECOMMENDATIONS OF A SOIL FERTILITY TEST AND ANALYSIS FROM A SOIL LAB (HIGHLY RECOMMENDED)
- INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. USE WOOD CHIP TYPE MULCH TO BE SELECTED BY OWNERS. PROVIDE SAMPLES AND PRICES PRIOR TO FINALIZING BID
- GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES
- FINAL CONSTRUCTION DRAWINGS TO INCLUDE PLANTING AND IRRIGATION DETAILS AND SPECIFICATIONS
- DONT TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER
- PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES
- ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DONT PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS
- GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY



Existing Pittosporum and Myoporum  
North and East rear yard Landscape Screening



Existing Pittosporum and neighboring Oak  
South East area of rear yard Landscape Screen



There is 2939 sf of Planting Area - 68% is rated low water use

Landscape Site Legend

- Compacted baserock and gravel in ROW for parking
- AC paving in ROW to connect road to driveway
- Driveway - Interlocking pavers - manuf., style, pattern, and color to be selected by owners
- Front walk - Interlocking pavers - a little different than driveway but complimentary to it- manuf., style, pattern, and color to be selected by owners
- Front porch - tile on concrete base or plain conc. - finish and pattern to be selected by owner
- Existing solid redwood 6' + 1' lattice fence
- New solid redwood 6' + 1' lattice fence with matching gate
- Side yard paths - Interlocking pavers - same as front walk
- Rear Patio - Conc. interlocking pavers to be selected by owner
- Covered Patio - tile on concrete base or plain conc. - finish and pattern to be selected by owner
- Path way - Interlocking pavers - same as front walk
- 
- Kid's Play Area - bark

Impervious Paving in Front Yard Setback

Total Area in Front Yard Setback  
78' x25' = 1950 sf  
Driveway = 540.6 sf  
Front walk = 218 sf  
Total impervious = 758.6 sf  
758.6/1950 = 38.9% OK

Landscape Screening

- Along the rear fence there are mature, tall Pittosporum. We are filling a gap with Podocarpus
- Along the north fence in the rear yard there is a mature Myoporum tree and a Japanese Maple. We are adding Podocarpus between them.
- On the south east side of the rear yard there is a large Oak next door and a large eucalyptus next door on the south side of the proposed house. we are adding some Podocarpus



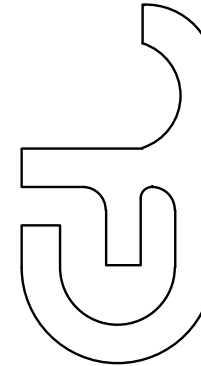
Landscape Screening  
Podocarpus gracilior



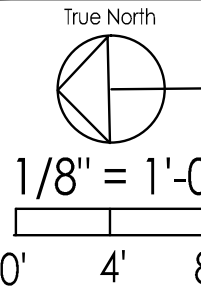
Landscape Screening  
Pittosporum tenuifolium

Revision

GREGORY LEWIS LANDSCAPE ARCHITECT #2176  
736 Park Way Santa Cruz, CA 95065 (831) 369-0960  
lewislandscape@sbcglobal.net



New Residence  
905 Leonello Ave., Los Altos, CA



LANDSCAPE  
SITE PLAN  
PLANTING &  
SCREENING  
PLAN

Date 7/18/22  
Scale As Noted  
Drawn Greg  
Job Sheet

L1  
of